# **ECONSTRUCT DESIGN & BUILD PVT. LTD**





DESIGN BUILD DELIVER

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#### Welome to E- Construct

# BRINGING WORLD-CLASS BUILDING SOLUTIONS TO YOU

Started in 2010, ECONSTRUCT Design & Build Pvt Ltd is a leading consultancy and contracting company based in India has executed design, construction and management for some of the most significant projects in the country. We are pioneers in developing on-job practical training programs to produce certified world class civil engineers.

15+

Years of experience

500+

**Projected completed** 

# 1 Architectural Consultancy

A professional team of architects, engineers and designers creating innovative building design solutions.



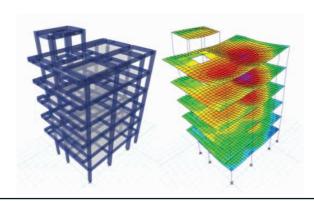
#### Coporate ON- JOB Training

We provide world-class engineering training programs designed to produce certified engineers that can work across the globe.



#### Structural Design Consultancy

Designing and evaluating structural performance of your designs. Our main area of focus includes RCC, Steel and PSC projects.



#### 4 Building Information Modelingc

We build BIM models for greater visibility, better decision-making, more sustainable options, and cost-savings on your infrastructure projects.



5

#### **IT Services**

From creating your company's website to creating custom web app solutions to manage & automate every day business tasks.



6

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We offer convenient and affordable audio and video studio rental services for educational institutes and corporations.



7

#### Luxury Villa Design

Ideal luxurious villa designs featuring rich amenities tailor made for peaceful and tranquil life in the lap of nature.



8

#### **Project Management Consultancy**

Scheduling, cost budgeting, risk identifying, monitoring & controlling the construction process to increase ROI of your projects.



1

PROJECT 1

# ARUBHAMA MARTAPA



## ANUBHAVA MANTAPA

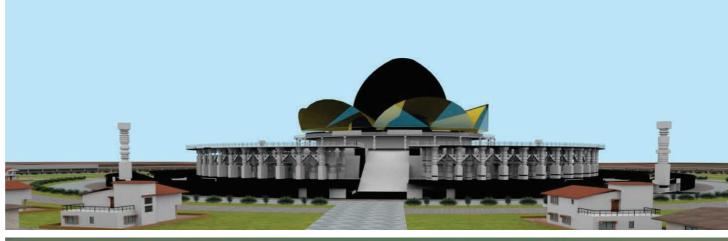
GOVERNMENT PROJECT

#### **Project Details:**

Land Area :25 Acres

No Of Floores:6

Project Time :6 Years











Anubhava Mantapa

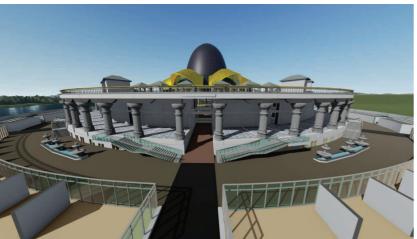
**Project Details:** 

Land Area :25 Acres

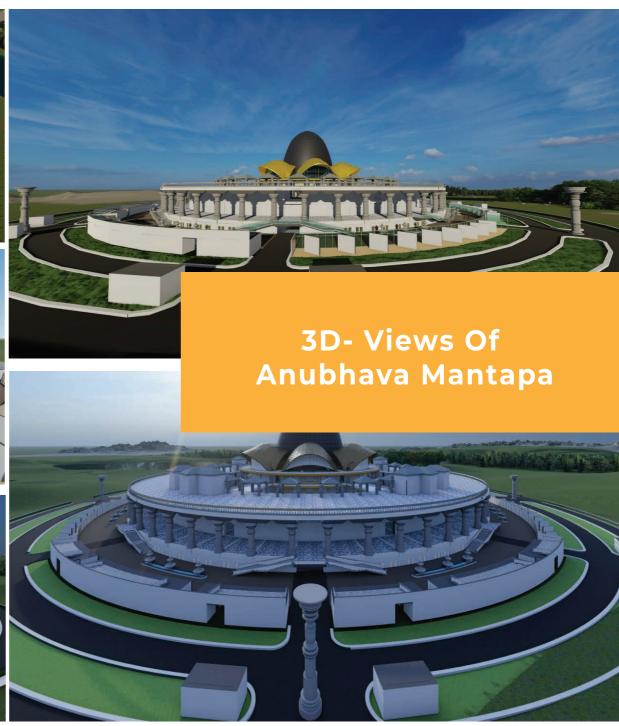
No Of Floores:6

Project Time :6 Years



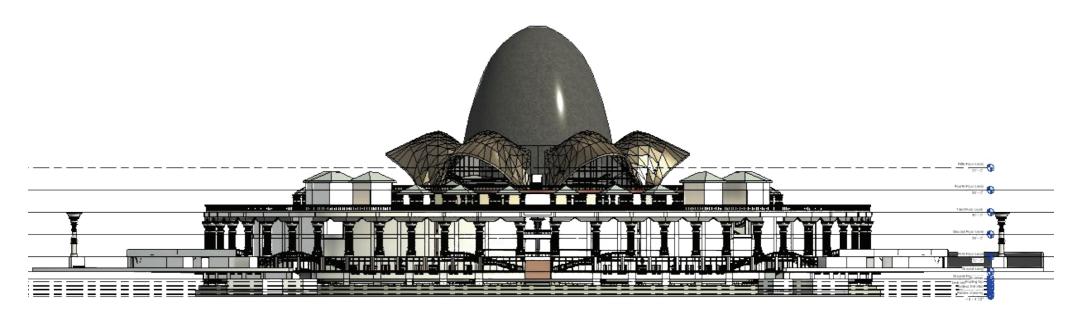




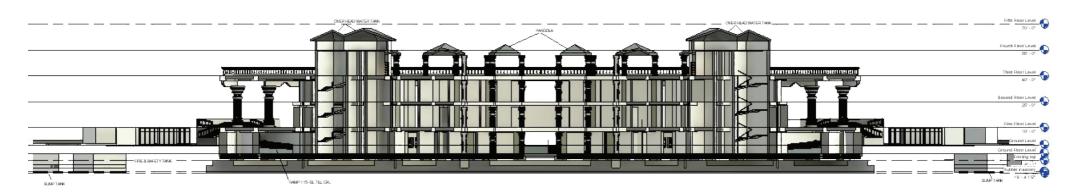


#### **ELEVATION & SECTIONS ANUBHAVA MANTAPA**





#### **EAST ELEVATION**



**SECTION TAKEN ALONG SUMP TANK & OVERHEAD TANK** 

## **PROJECT FEATURES**



4th FLOOR

**3rd FLOOR** 

2nd FLOOR

1st FLOOR

GROUND FLOOR









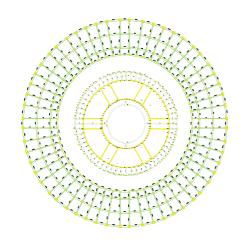




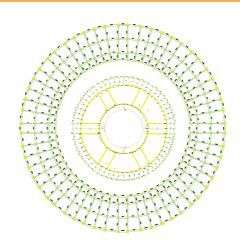


#### **2D STRUCTURAL FRAMING PLANS**

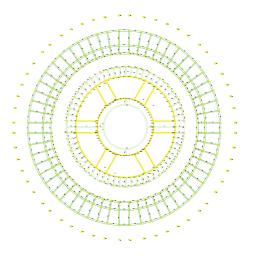




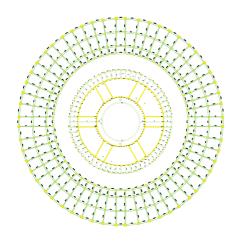
Ground Floor Plan

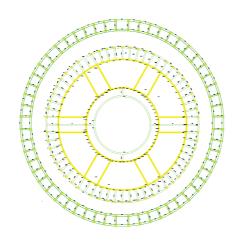


First Floor Plan

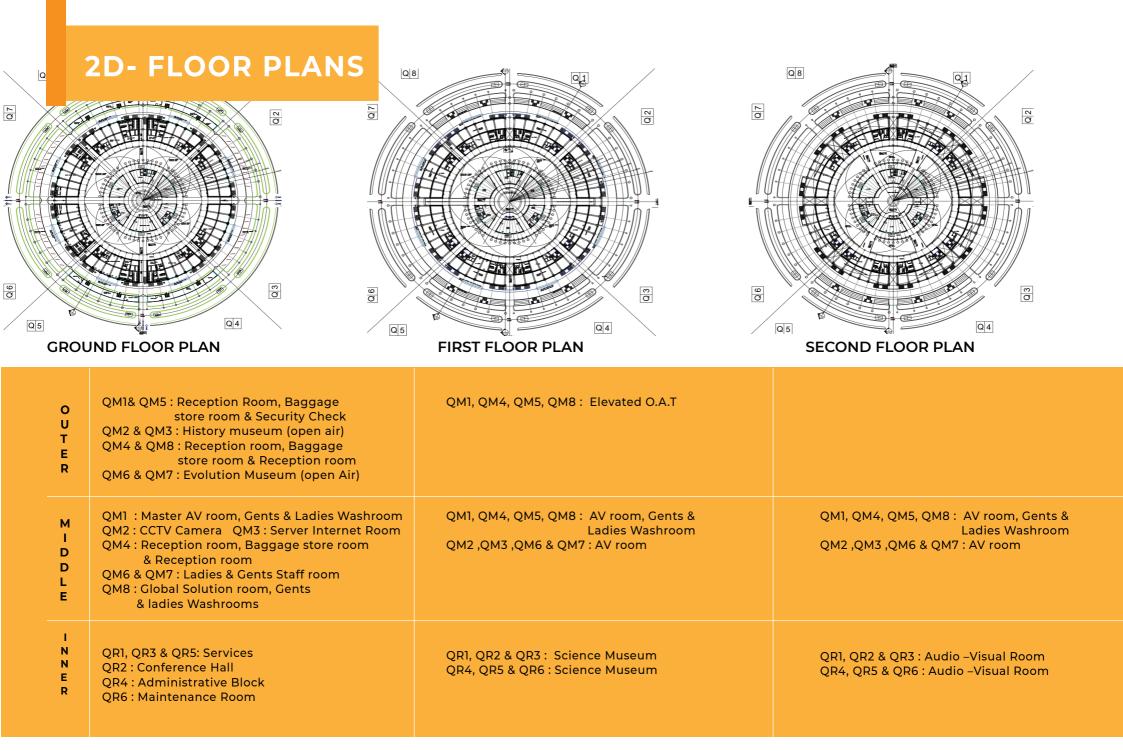


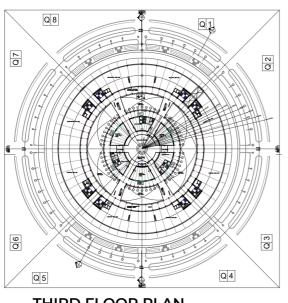
Second Floor Plan

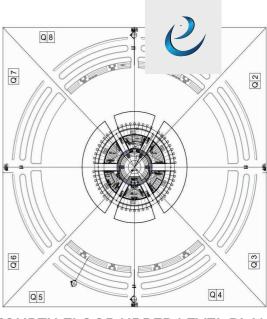




Third Floor Plan Fourth Floor Plan







THIRD FLOOR PLAN FOURTH FLOOR LOWER LEVEL PLAN FOURTH FLOOR UPPER LEVEL PLAN

QM1 & QM2: Sadachara Theme Area QM3 & QM4 : Shivachara Theme Area QM5 & QM6 : Lingachara Theme Area QM7 & QM8 : Bhrathychara Theme Area

QR1, QR3 & QR5: Education Room QR2, QR4 & QR6: Meditation Room

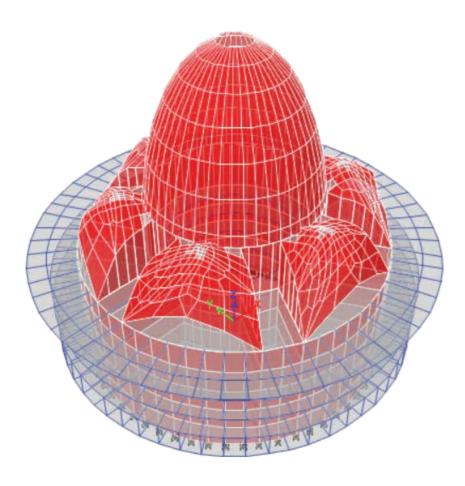
QR1,QR3 & QR5: 7D theater (screen at ceiling)

QR1 ,QR3 & QR5 : 7D AV theater

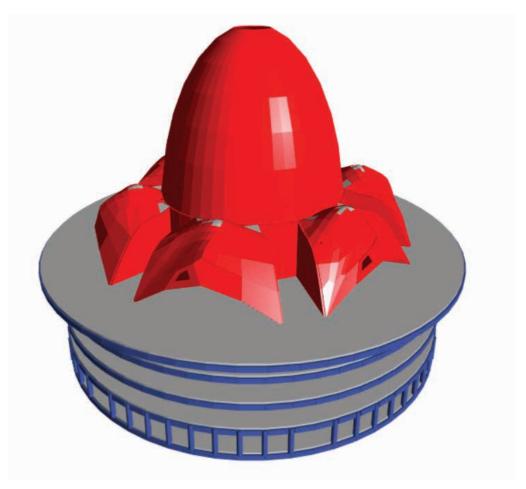
QR1 ,QR3 & QR5 : 7D theater (screen at ceiling) QR1 ,QR3 & QR5 : 7D AV theater

## **INNER RING MODELLING IN ETABS**





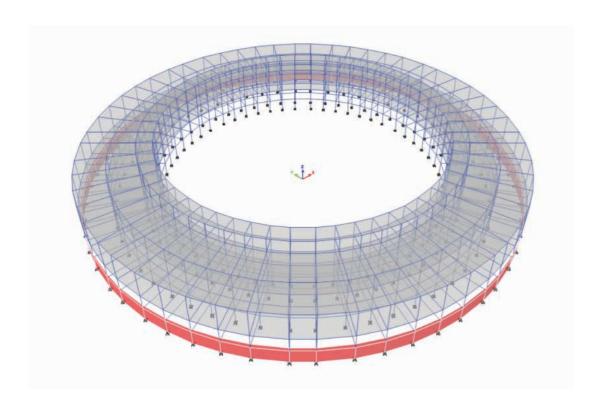
Mathematical Model 3D View

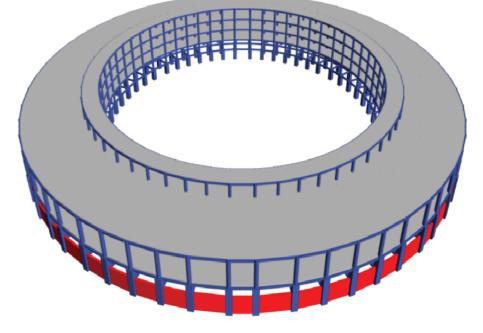


Mathematical Model Rendered View

#### MIDDLE RING MODELLING IN ETABS



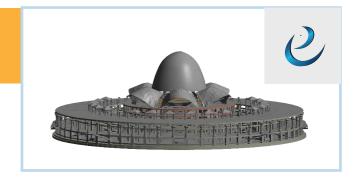


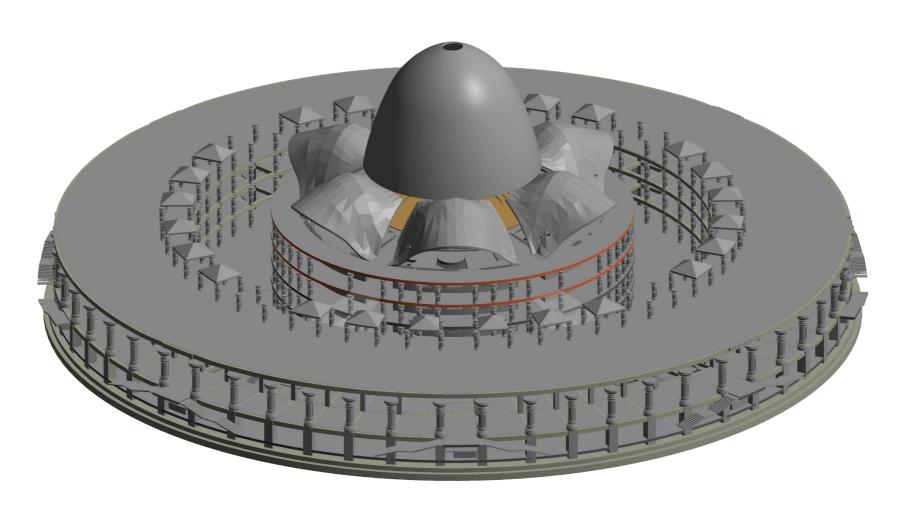


Mathematical Model 3D View

Mathematical Model Rendered View

# **3D STRUCTURE MODEL**





#### **FOUNDATION DETAILS**

6

DROP : 900mm / 1100mm RAFT FOUNDATION : 900mm / 1100mm

PCC (M30) : 150mm RUBBLE MASONRY : 300mm (40mm + 20mm + 10mm+4mm

+ M30 Self compacted Micro-concreting)



#### **BEAM DETAILS**

S. No	Description	Sizes	Material	Grade
1.	Beam	900x700	Concrete	M50
2.	Beam	600x700	Concrete	M50



#### **SLAB DETAILS**

S. No	Description	Thickness	Material	Grade
1.	Slab	200	Concrete	M50
2.	Slab	250	Concrete	M50
3.	Slab	300	Concrete	M50



#### **RETAINING WALL**

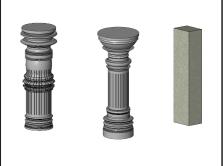
S. No	Description	Thickness	Material	Grade
1.	Retaining Wall	300	Concrete	M50





# COLUMN DETAILS

S. No	Description	Sizes	Material	Grade
1.	Circular Stone Column	900mm dia	Concrete	M50
2.	Circular Stone Column	1200mm dia	Concrete	M50
3.	RCC Column (Sqaure)	900mm	Concrete	M50
4.	Pedestal (Square)	1500mm	Concrete	M50



## AREA LOADS

S. No.	DESCRIPTION	DEAD LOAD (As Per IS875 Part 1 & Calculations)	LIVE LOAD (As Per IS875 Part 2, Table 1)	UNITS
1	All Slabs	5	5	kN/m²
2	Water Tank Load	15	0.75	kN/m²
3	Cladding Load	10	-	kN/m²

## FRAME LOADS

S. No.	DESCRIPTION	LOAD (As Per IS875 Part 1 & Calculations)	UNITS
1	Parapet (0.3m sill +1.2m pillar + 0.1m railing)	4	kN/m
2	Brick Wall (0.23m thick x 20 kN/m3 density x 3.6m clear height)	17	kN/m

#### CRACKED MOMENT OF INERTIA - SMF



<b>Table 6 Cracked RC Section</b>	<b>Properties</b>
( <i>Clause</i> 7.2)	

Sl No.	Structural Element	Un-factored Loads		Factored Loads		
110.	Ziemene	Area	Moment of Inertia	Area	Moment of Inertia	
(1)	(2)	(3)	(4)	(5)	(6)	
i)	Slabs	$1.0A_{ m g}$	$0.35~I_{ m g}$	$1.00A_{\mathrm{g}}$	$0.25~I_{ m g}$	
ii)	Beams	$1.0A_{ m g}$	$0.7~I_{ m g}$	$1.00A_{\mathrm{g}}$	$0.35~I_{ m g}$	
iii)	Columns	$1.0A_{ m g}$	$0.9I_{ m g}$	$1.00A_{\mathrm{g}}$	$0.70I_{ m g}$	
iv)	Walls	$1.0A_{ m g}$	$0.9I_{ m g}$	$1.00A_{ m g}$	$0.70~I_{ m g}$	

#### **SEISMIC ANALYSIS**



Loading Type	Mass Multiplier
Dead	1
Live>3	0.5

Mass source from IS 1893:2016 Table 10,Clause 7.3.1

#### STATIC BASE SHEAR

 $V_B = A_h W$  (As Per IS1893 Part-1: 2016; Cl. No. 6.4.2)

$$A_{h} = \frac{\left(\frac{Z}{2}\right)\left(\frac{Sa}{g}\right)}{\left(\frac{R}{I}\right)}$$

Where,  $A_h$  = Design horizontal acceleration coefficient | | W = Seismic weight of the building

Z = Seismic zone factor (As per IS 1893:2016, Part-1, Table-3)

I = Importance Factor (As per IS 1893:2016, Part-1, Table-8)

R = Response reduction factor (As per IS 1893:2016, Part-1, Table-9)

 $\left(\frac{Sa}{g}\right)$  = Design acceleration coefficient

Fundamental Natural Time Period (Ta) =  $\frac{0.09h}{\sqrt{d}}$  (As per IS 1893, Part-1, Clause 7.6.2)

#### **SEISMIC ANALYSIS**





# Middle Ring

Static Base Shear = 22397 kN

Seismic Dynamic Base Shear After Scaling in X and Y Direction – 48886 kN

#### WIND ANALYSIS



Wind Exposure Parameters Height of building considered to wind analysis (h) = 22.5 m Greater horizontal dimension of building (l) = 152.56 m Lesser horizontal dimension of building (w) = 152.56 m

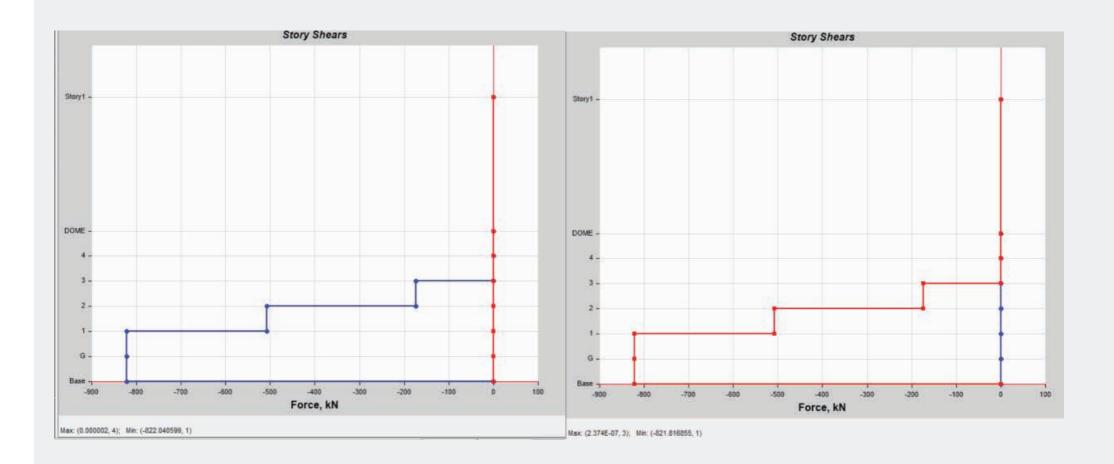
(As per IS 875: 2015, Table No 5, Part 3, Clause 7.3.3.1)

BUILDING HEIGHT RATIO		BUILDING PLAN RATIO	ELEVATION	PLAN WIND ANGLE		C pe FOR SURFACE				LOCAL Cpa
	20	TOSTIO			0	A	В	C	D	91111
	<u>n - 1</u>	1< 1/2 3	0.29w	۲۶۵۰	Degrees 0 90	+ 0.7 - 0.5	- 0.2 - 0.5	1	· 0.5 · 0.2	}-0.8
	¥ 2	3 < 1 <4			0 90	+0.7 -0.5	-0.25 -0.5	- Q6 + 0.7	-0.6 -0.1	}-1.0

BUILDING HEIGHT	BUILDING PLAN WIND		Cp FOR S	URFACE
RATIO	RATIO	ANGLE (θ)	WINDWARD	LEEWARD
h/ 0 15	I/w = 1	0	0.7	0.2
h/w = 0.15		90	0.7	0.2

## WIND ANALYSIS - INNER RING

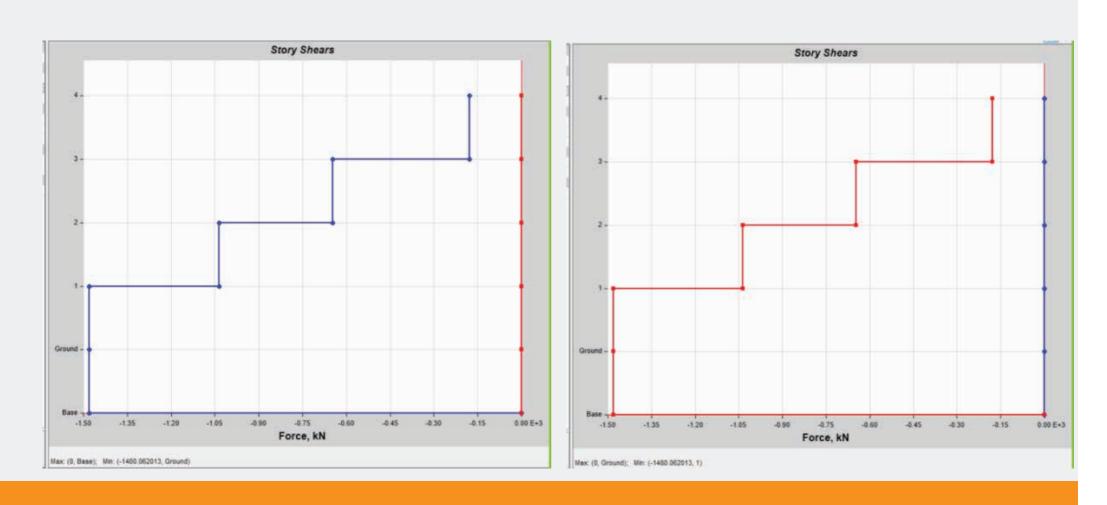




Wind Base Shear After Scaling in X and Y Direction are 822 kN & 821.82 kN respectively

#### WIND ANALYSIS - MIDDLE RING

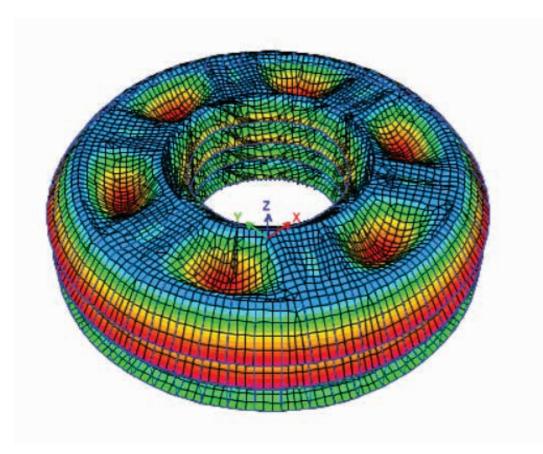


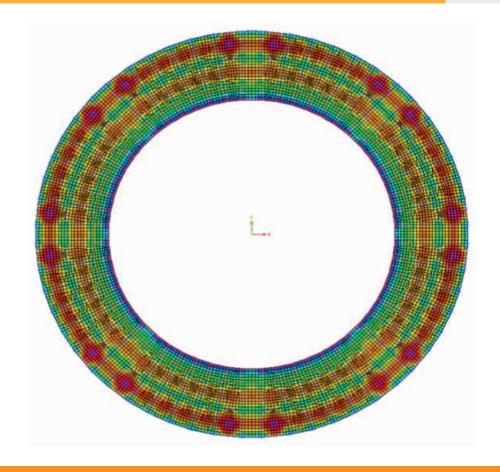


Wind Base Shear After Scaling in X and Y Direction are 1400 kN & 1400 kN respectively

# **CREEP DEFLECTION (400 YEARS)**







Inner Ring Deflection – 35mm Middle Ring Deflection – 29.3mm

Hence we need to go for pre-chambering of 25mm

#### FOUNDATION - SERVICE LOAD COMBINATIONS



SR	COMBINATION	LIMIT STATES OF SERVICEABILITY					
NO.		DL	LL	WX	WY	SPECX	SPECY
1.	DL+LL	1.5	1.5	-	-	-	-
2.	DL	1.5					
3.	DL+SPECX	1.5	-	-	-	1.5	-
4.	DL+SPECY	1.5	-	-	-	-	1.5
5.	DL ±WX	1.5	-	±1.5	-	-	-
б.	DL±WY	1.5	-	-	±1.5	-	-
7.	DL+LL+SPECX	1.2	1.2	-	-	1.2	-
8.	DL+LL+SPECY	1.2	1.2	-	-	-	1.2
9.	DL+LL $\pm$ WX	1.2	1.2	±1.2	-	-	-
10.	DL+LL±WY	1.2	1.2	-	±1.2	-	-
11.	DL+SPECX	0.9	-	-	-	1.5	-
12.	DL+SPECY	0.9	-	-	-	-	1.5
13.	DL ±WX	0.9	-	±1.5	-	-	-
14.	DL±WY	0.9	-	-	±1.5	-	-

#### FOUNDATION - STRENGTH LOAD COMBINATIONS



SR	COMBINATION	LIMIT STATES OF SERVICEABILITY					
NO.		DL	LL	WX	WY	SPECX	SPECY
1.	DL+LL	1.5	1.5	-	-	-	-
2.	DL	1.5					
3.	DL+SPECX	1.5	-	-	-	1.5	-
4.	DL+SPECY	1.5	-	-	-	-	1.5
5.	DL ±WX	1.5	-	±1.5	-	-	-
6.	DL±WY	1.5	-	-	±1.5	-	-
7.	DL+LL+SPECX	1.2	1.2	-	-	1.2	-
8.	DL+LL+SPECY	1.2	1.2	-	-	-	1.2
9.	DL+LL ±WX	1.2	1.2	±1.2	-	-	-
10.	DL+LL±WY	1.2	1.2	-	±1.2	-	-
11.	DL+SPECX	0.9	-	-	-	1.5	-
12.	DL+SPECY	0.9	-	-	-	-	1.5
13.	DL ±WX	0.9	-	±1.5	-	-	-
14.	DL±WY	0.9	-	-	±1.5	-	-

#### **FOUNDATION DETAILS**



#### 1. Material properties of Concreate

Grade of Concrete	E (N/mm <sup>2)</sup>	Unit Wt. (kN/m³)	Fc (N/mm²)
M45	31622	25	45

#### 2. Material properties of Rebar

Grade of Steel	E (N/mm <sup>2</sup> )	Unit Wt. (kN/m³)	<b>Fy</b> (N/mm <sup>2)</sup>	Fu (N/mm <sup>2</sup> )
Fe550D	200000	76.97	550	545

#### 3. Forces And Grouping f Footing

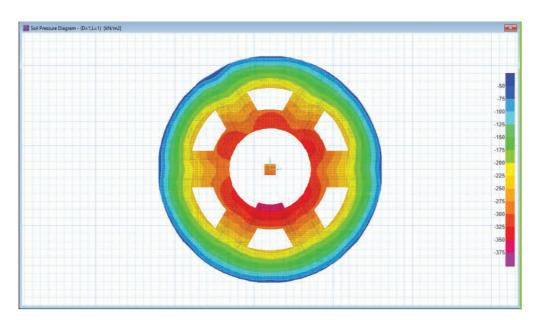
Foundation	MATI	DEPTH OF FOOTING	
Members	GRADE OF CONCRETE	GRADE OF STEEL	(mm)
Raft	M45	Fe550 <b>D</b>	900
Drop	M45	Fe550 <b>D</b>	900

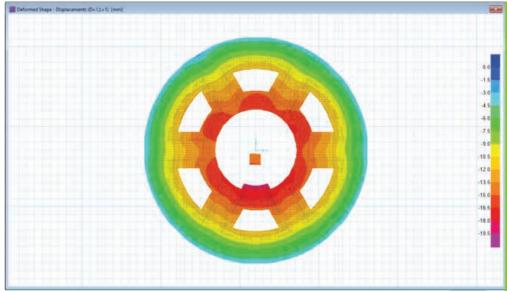
SBC of the soil as per soil report is 750 kN/m<sup>2</sup>

Initial sizes of the footing as per the manual calculations for the better control

#### **FOUNDATION - INNER RING**







# **Check for Ground Bearing Pressure**

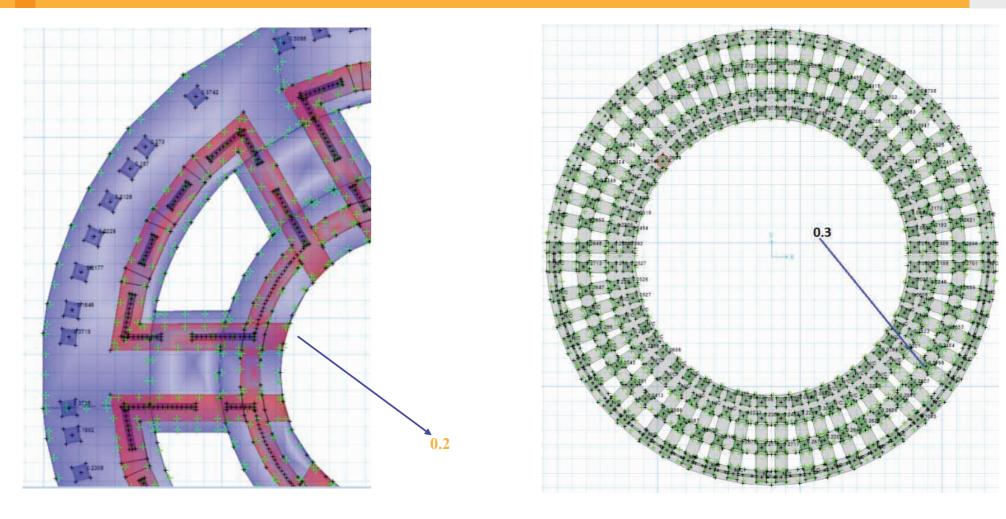
Maximum value for the GBP is coming 373 KN/m2 for (Dead load + Live load) which is less than 750 kN/m2 and it is safe

#### **Check for Settlement**

Maximum settlement observed is 18.68 mm for Dead load + Live load which is safe as er the limit of 50 mm for the isolated footing

#### FOUNDATION - PUNCHING SHEAR CHECKS



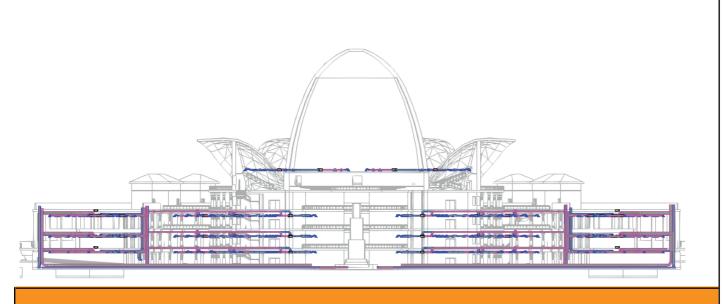


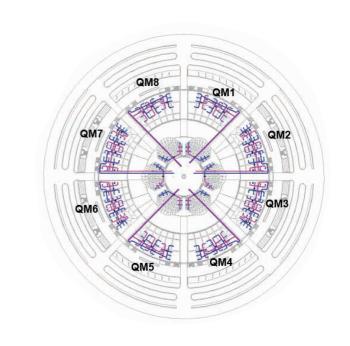
**Inner Ring** 

Middle Ring

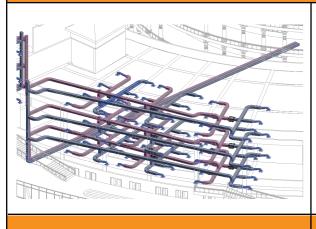
# MECHANICAL (HVAC SERVICES)



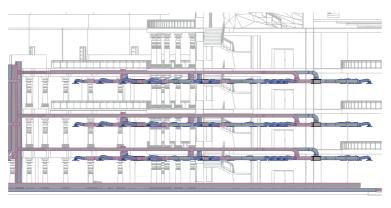




#### **South- Elevation**



QM-2 3DView



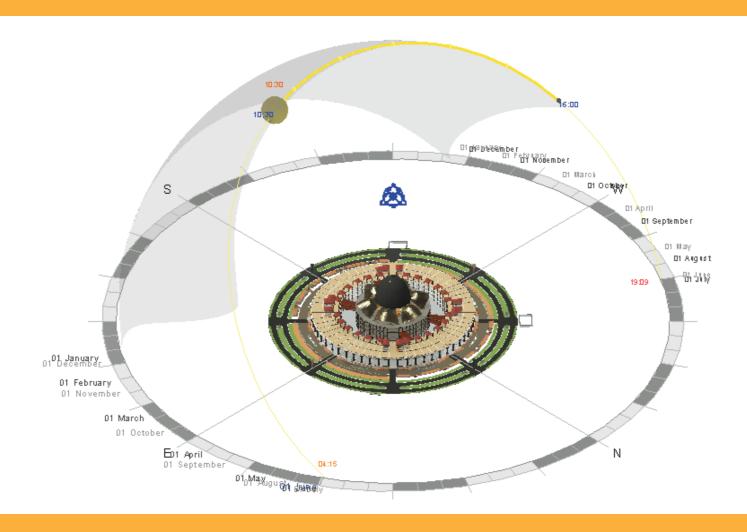
QM-2 3DSection

#### **HVAC PLAN**



#### **SUN-PATH FOR ONE DAY**

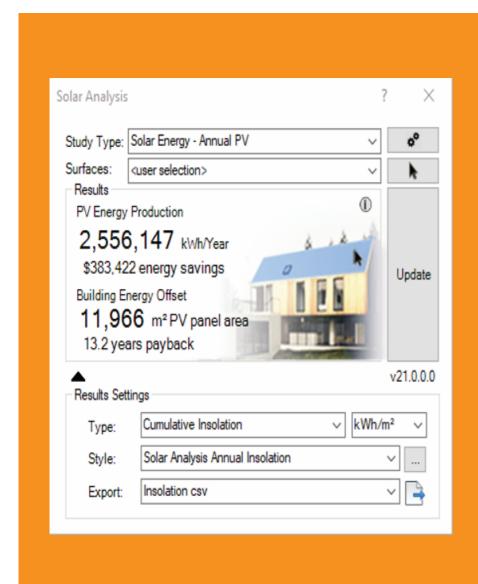


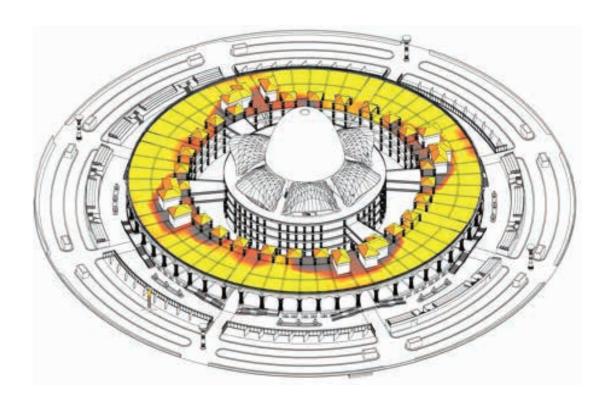


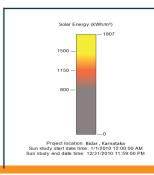
One day Sun path from East to West Sun light as per the given timing at 10-30 AM

#### SOLAR PV ANALYSIS FOR PROJECT





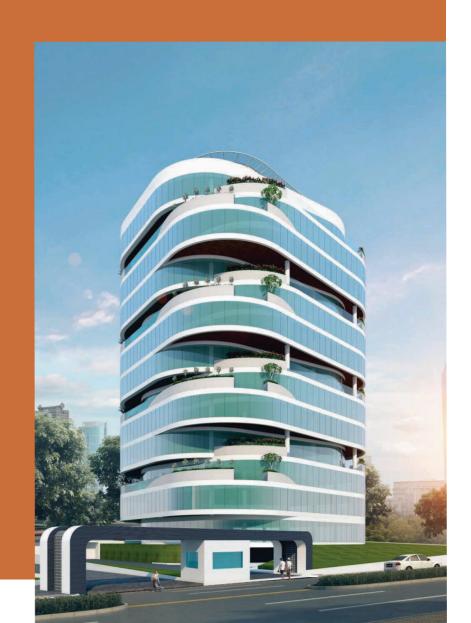




2

PROJECT

# KSDB



# **ELEVATION VIEW**





**BIRDS EYE VIEW** 

**DAY RENDER 1** 

**DAY RENDER 2** 

# CONCEPTUAL DESIGN EVOLUTION PRETAINING TO RULES AND BYE-LAWS





#### CASE 1

Plot area = 3304 sq.m

FAR = 2.75

Ground coverage 27.50%



#### CASE 2

Plot area = 3304 sq.m

FAR = 2.87

Ground coverage 31.9%

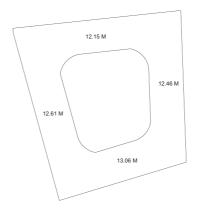


#### CASE 3

Plot area = 3304 sq.m

FAR = 3

Ground coverage 30.0%



#### CASE 3

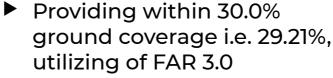
Plot area = 3304 sq.m

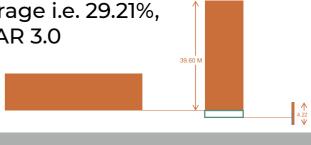
FAR = 3

Ground coverage 30.0%

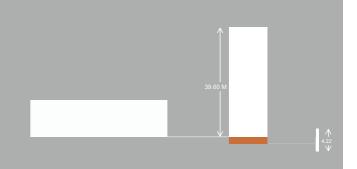
Floor ht - 3.3m

(2B+L.GR.+GR.+12FLOORS)



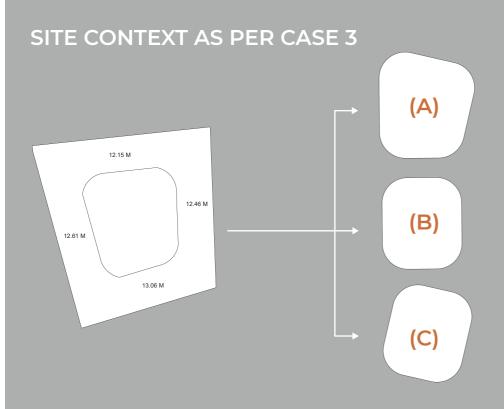


- ► As the site context gives the benefit of lower ground, having a contour of 4.22m
- ► Height is restricted to 40m, as per open space of 12m (all sides) in bye-laws.

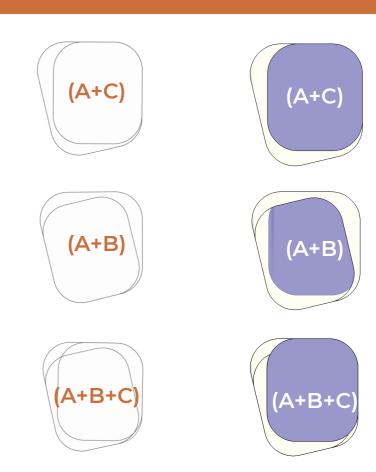


#### **DESIGN APPROACH & CONCEPT EVOLUTION**



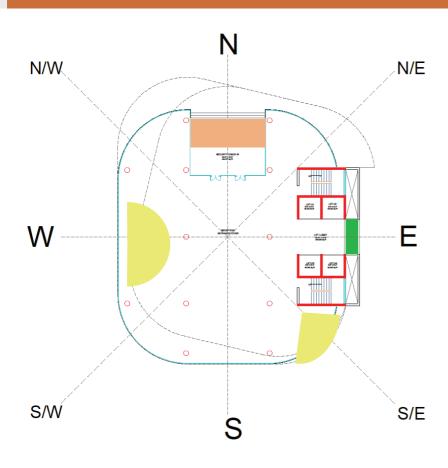


- ▶ Site context evolves the form of the structure.
- ► Following the form and injecting pocket terraces to improve enviornment quality, another form was created.
- ► The form created are placed on 2 different edges, for attaining improved enviornment quality and aesthetics, stepping ahead for development.

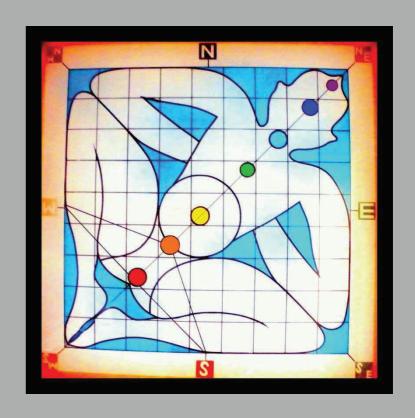


- Green terraces would filter air and cool heat falling on facade
- ► More of pocket terraces, vegetation would help to achieve the eco-friendly environment.





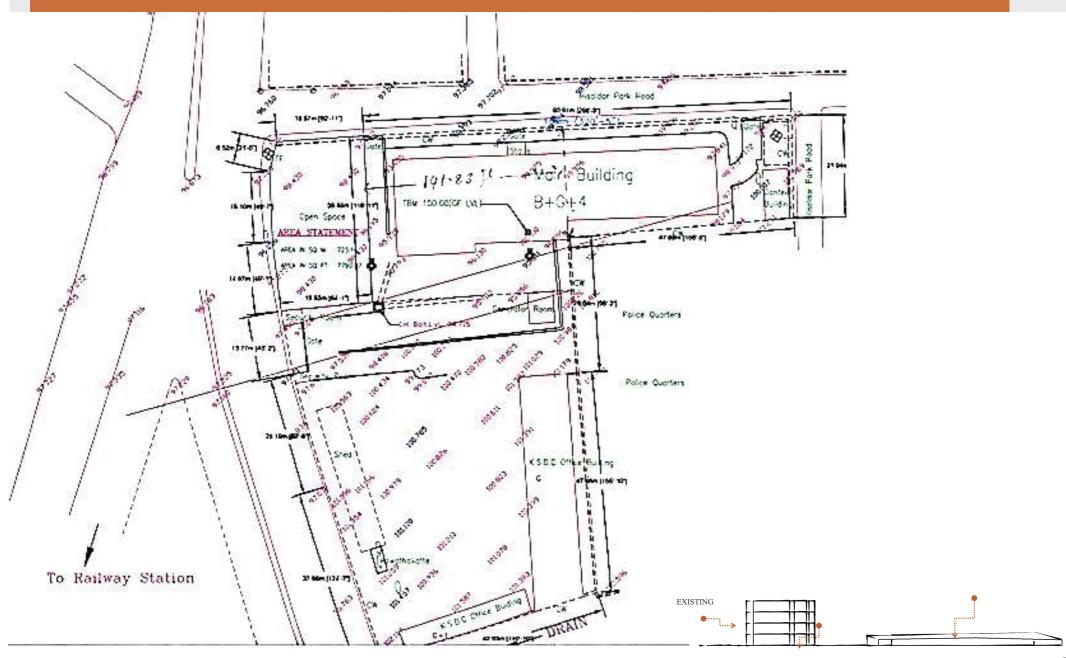
- ENTRANCE BEST SUITED IN NORTH DIRECTION AS PER VASTU.
- OR WEST DIRECTION AS PER VASTU.



COMPLETE ADVANTAGE PERTAINING TO VASTU BENEFITS HAS BEEN TAKEN INTO CONSIDERATION BY ELEVATING THE ENTRY POINT BY 12 UPPER FLOORS AND THE LOWER AREA BY ENTERING INTO BASEMENTS.

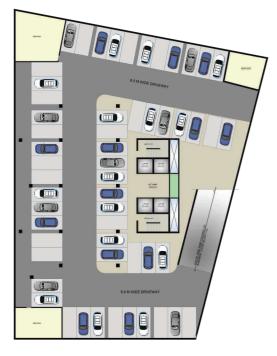
# TOPOGRAPHICAL SURVEY PLAN OF KSDB LAND



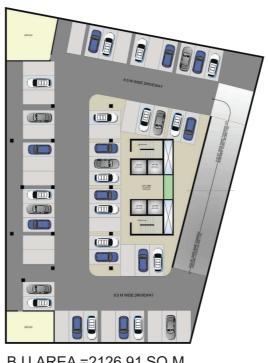


# SCHEMATIC DESIGN APPROACH **BUILDING PLANS AND ELEVATION**





B.U.AREA = 2126.91 SQ.M



B.U.AREA = 2126.91 SQ.M



**BASEMENT 01** 

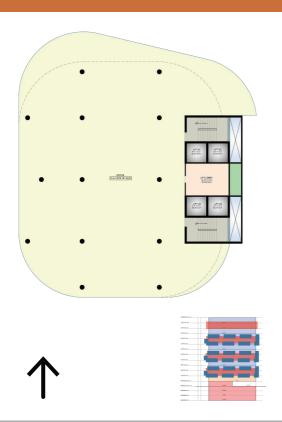
**TYPICAL 2ND & 3RD BASEMENT** 

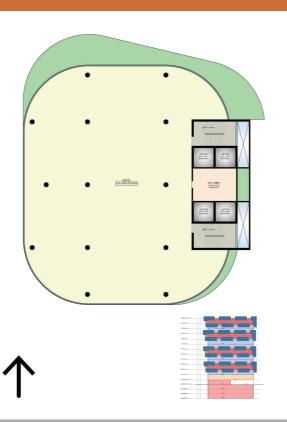
#### **GROUND FLOOR PLAN**

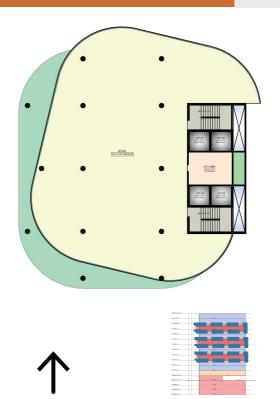
GROUND FLR. LVL		
DESCRIPTION	BUILT-UP AREA	
COMMERCIAL	670.82 SQ.MT.	

# **FLOOR PLAN**









# TYPICAL 1, 4, 7 AND 10TH FLOOR PLAN

1ST,4TH,7TH,10TH FLR. LVL 792.15 X 4= 3168.60 SQ.MT.		
DESCRIPTION	BUILT-UP AREA	
COMMERCIAL	792.15 SQ.MT.	

# TYPICAL 2, 5, 8 AND 11TH FLOOR PLAN

2ND,5TH,8TH,11TH FLR. LVL 793.02 X 4 = 3172.08 SQ.MT.	
DESCRIPTION	BUILT-UP AREA
COMMERCIAL	793.02 SQ.MT.

# TYPICAL 3, 6 AND 9TH FLOOR PLAN

3RD,6TH,9TH	FLR. LVL	750.29 X 3 = 2250.87 SQ.MT.
DESCRIPTION	BUILT-UP ARE	A
COMMERCIAL	750.29 SQ.MT.	
12TH (PART) FLR. LVL		
DESCRIPTION	BUILT-UP AREA	
COMMERCIAL	648.61 SQ.MT.	

# SCHEMATIC SECTIONS AND AREA STATEMENT



TERRACE FLR. LVL.		
11TH FLR. LVL.	OFFICE	
10TH FLR. LVL.	OFFICE	
9TH FLR. LVL.	OFFICE	
0077		
8TH FLR. LVL.	OFFICE	
-		
7TH FLR. LVL.	OFFICE	
6TH FLR. LVL.	OFFICE	
5TH FLR. LVL.	OFFICE	
4TH FLR. LVL.	OFFICE	
3RD FLR. LVL.	OFFICE	
ave sto us		
2ND FLR. LVL.	OFFICE	
1ST FLR. LVL.	OFFICE	
TOTT LIV. C.Y.L.	OFFICE	
GROUND FLR. LVL.		POTENTIA
OWER GR. FLR. LVL.	PARKING	CATORIOC (DOUBLE HEXPITICE)
BASEMENT-01	PARKING	
BASEMENT-02	PARKING	
BASEMENT-03	PARKING	

HT. OF THE BUILDING = 39.60 M

TERRACE FLR. LVL.		LIFT LOBBY	
11TH FLR. LVL.	OFFICE	LIFT LOBBY	
10TH FLR. LVL.	OFFICE	LIFT LOBBY	
9TH FLR. LVL.	OFFICE	LIFT LOBBY	
	37702		
8TH FLR. LVL.	OFFICE	LIFT LOBBY	
7TH FLR. LVL.	OFFICE	LIFT LOBBY	
6TH FLR. LVL.	OFFICE	LIFT LOBBY	
İ			
5TH FLR. LVL.	OFFICE	LIFT LOBBY	
4TH FLR. LVL.	OFFICE	LIFT LOBBY	
3RD FLR. LVL.	OFFICE	LIFT LOBBY	
2ND FLR. LVL.	OFFICE	LIFT LOBBY	
0.00			
1ST FLR. LVL.	OFFICE	LIFT LOBBY	
GROUND FLR. LVL.	OFFICE	LIFT LOBBY	
LOWER GR. FLR. LVL.	ENTRANCE FOYER/WAITING	LIFT LOBBY	
BASEMENT-01	PARKING	LIFT LOBBY	RAMP
Driotime (11-01			
BASEMENT-02	PARKING	LIFT LOBBY	RAMP
000			
BASEMENT-03	PARKING	LIFT LOBBY	RAMP

HT. OF THE BUILDING = 39.60 M

F.A.R. CALCULATION		
FLOOR	B.U.A.	
GROUND FLOOR	670.82 SQ.MT	
1ST FLOOR	792.15 SQ.MT	
2ND FLOOR	793.02 SQ.MT	
3RD FLOOR	750.29 SQ.MT	
4TH FLOOR	792.15 SQ.MT	
5TH FLOOR	793.02 SQ.MT	
6TH FLOOR	750.29 SQ.MT	
7TH FLOOR	792.15 SQ.MT	
8TH FLOOR	793.02 SQ.MT	
9TH FLOOR	750.29 SQ.MT	
10TH FLOOR	792.15 SQ.MT	
11TH FLOOR	793.02 SQ.MT	
12TH FLOOR (PART)	648.61 SQ.MT	
TOTAL AREA	9910.98 SQ.MT	

#### AREA STATEMENT :

PLOT AREA = 3303.84 SQ.MT.

F.S.I. = 3.00

PERMISSIBLE FLOOR AREA = 9911.52 SQ.MT. TOTAL PROPOSED B.U.A. = 9910.98 SQ.MT. BALANCE AREA = 0.54 SQ.MT.

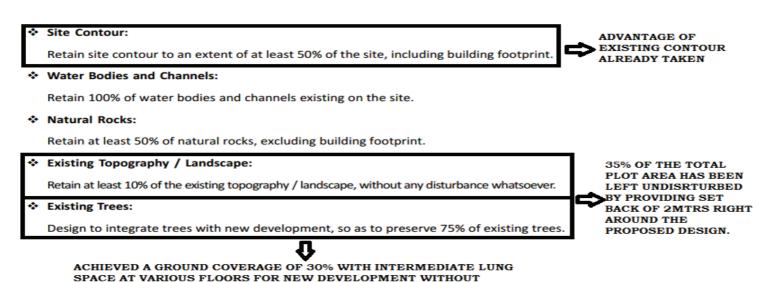
#### **KEY DESIGN CONSIDERATION**



- ▶ India being a democratic country, approaching to developed one, itself directs that the structure shall be a modern building.
- ▶ This promotes that the building shall be more of glass, but at the same time with improvement enviornment quality.
- ► The design also holds a grip with the green building concepts in terms of sustainable architecture and design.
- ► The key parameters which are to be taken into consideration are in terms of Green Building Rating System:

Site preservation -

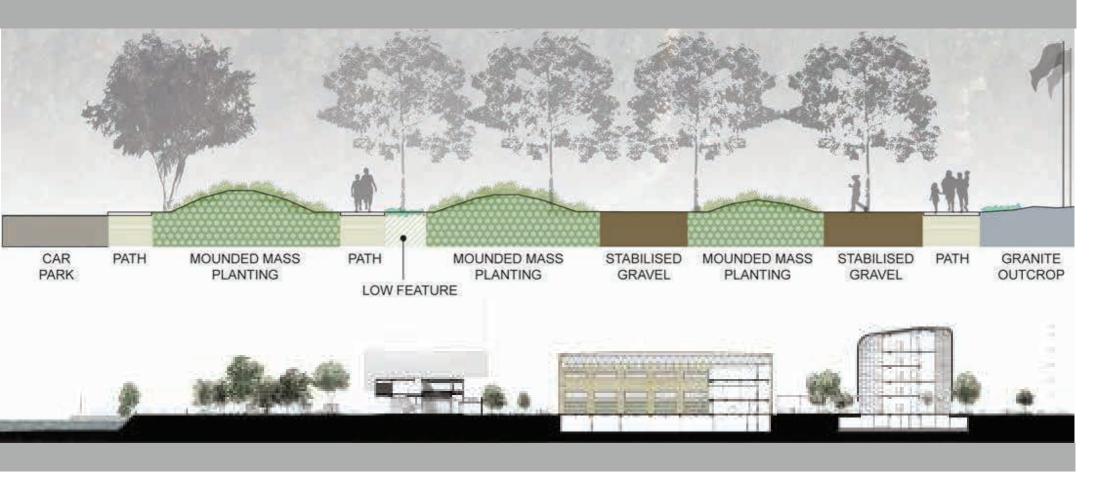
DISTURBING THE EXISTING PLANTATIONS



# **CONCEPT**



- ▶ Glass have the tendency of more heat gain.
- ▶ To avoid more of heat gain, natural vegetation required so as to filter the heat.
- ► More of pocket terraces, vegetation would help to achieve the eco-friendly environment for humanity.



# OVERALL DESIGN LAYOUT ACCESSIBILITY



The nearest accessible station towards west is Bangalore city station @ 2.2km.





The nearest accessible station towards north is Mantri Square @ 8km.







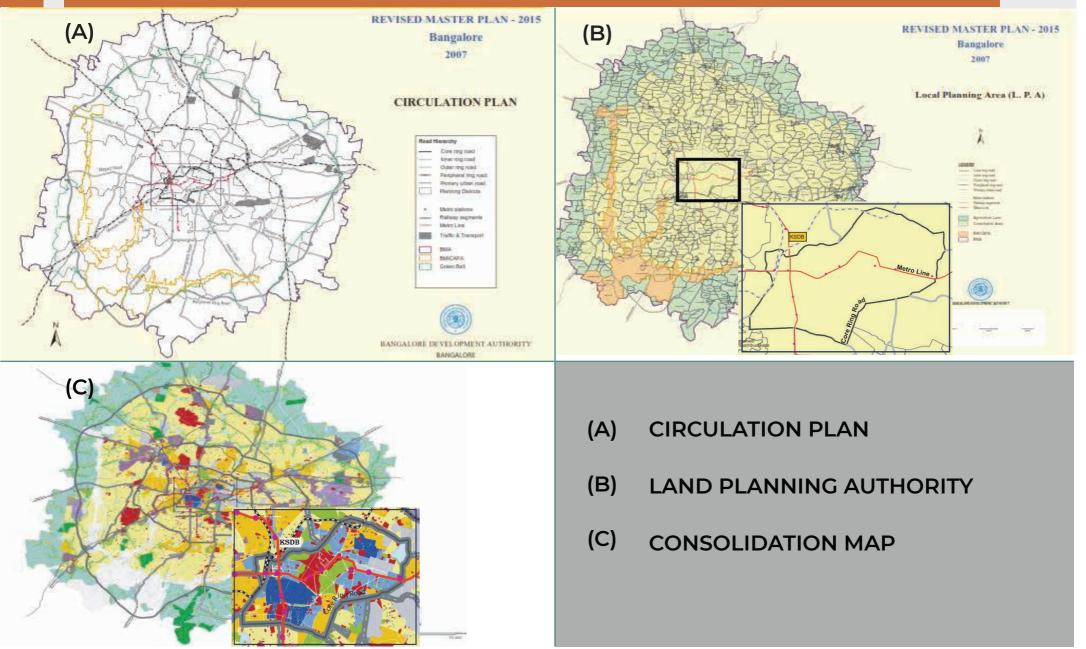
The nearest accessible station towards south is Old Mysore road.



The nearest accessible station towards east is Banglore cantonment @ 4.4km.

# **MASTER PLAN**

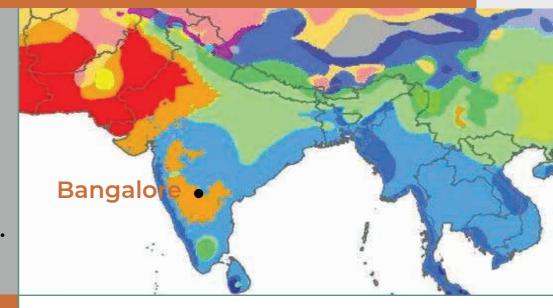




#### STUDY OF SURROUNDIND DEVELOPMENT CLIMATE



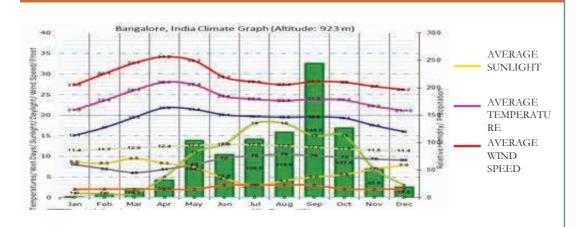
- ▶ Banglore has a tropical savanna climate with distinct wet and dry seasons.
- ▶ Due to its high elevation, Banglore usually enjoys a more moderate climate throughout the year, although occasional heat waves can make summer somewaht uncomfortable.



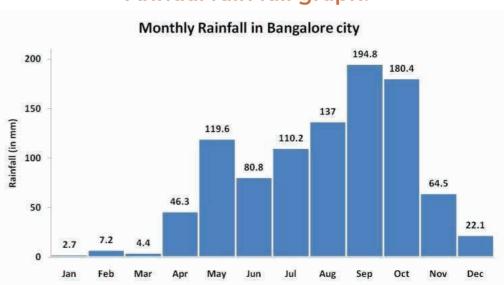
Latitude: 12°58'N. Longitude: 77°34'E. Coolest month is January 15.1 °C

Hottest month is April 35 °C

Average annual rainfall: 859 mm



#### Annual rain fall graph.



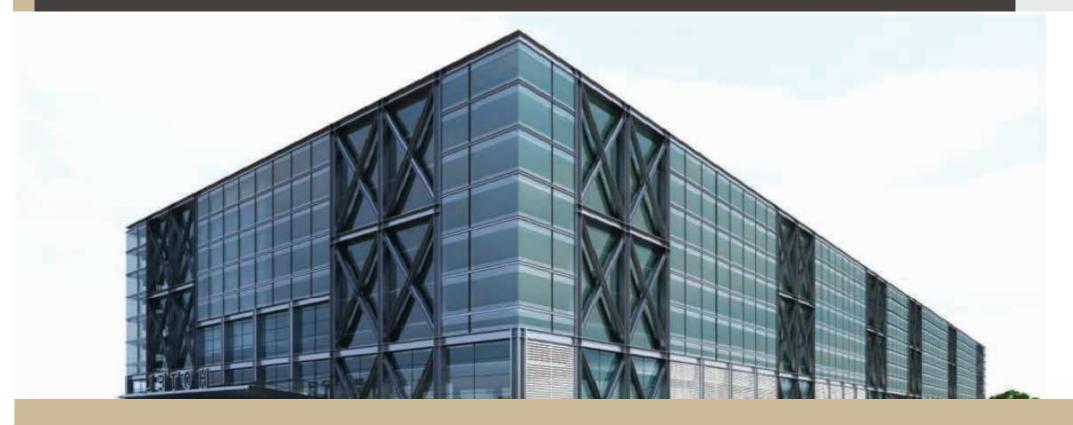
3

**PROJECT** 

# MARRO

# HOTEL MARRIOT BUILDING PROJECT INTRODUCTION





#### Location:

The project is spread across rectangular plot of 300m x 100m located at Asset-13, LP1A, Indira Gandhi International Airport, New Delhi, India. This will be an added dimension to Delhi Aero City upon completion.

#### **Proximity**

Delhi Airport (IG) 6 min (2.7 km)

Total Height of the Building: 38.3 meters

Typical Floor Height 4 meters

#### No of floors

6B + G + 7 Building with 2 Transfer Levels

Width of the Building
300 meters (along X axis)
100 meters (along Y axis)

Grade of Concrete M30 & above

Rebars Fe 500

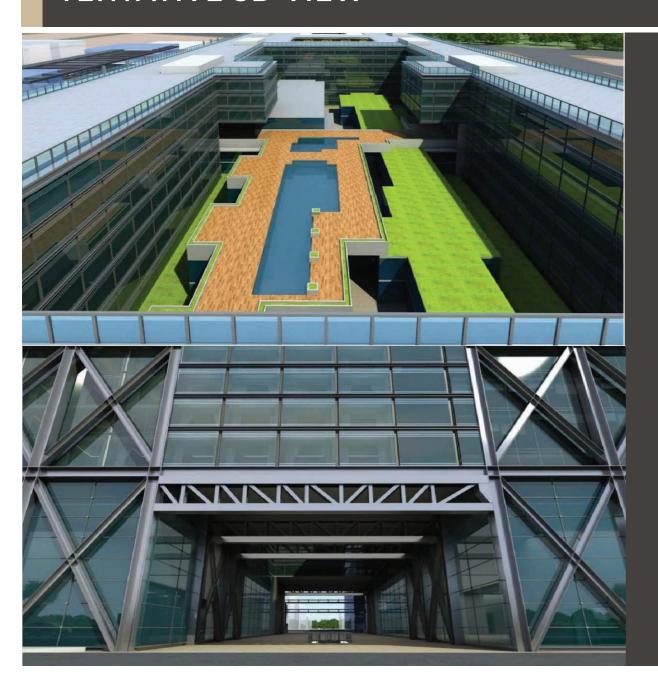
# 3D VIEW OF THE PROJECT





# **TENTATIVE 3D VIEW**



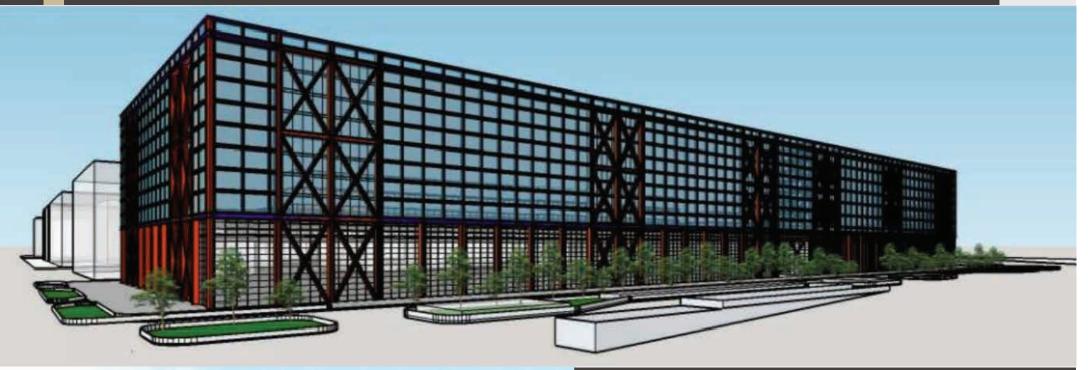


Swimming Pool & landscape area – Hotel

View of Entrance Near Pedestrian Walkway

# **ELEVATION OF THE BUILDING**



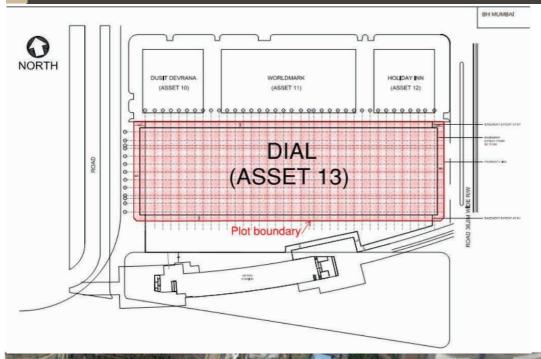




Tentative Front Elevation of the Building

# SITE LOCATION & PLOT BOUNDARY





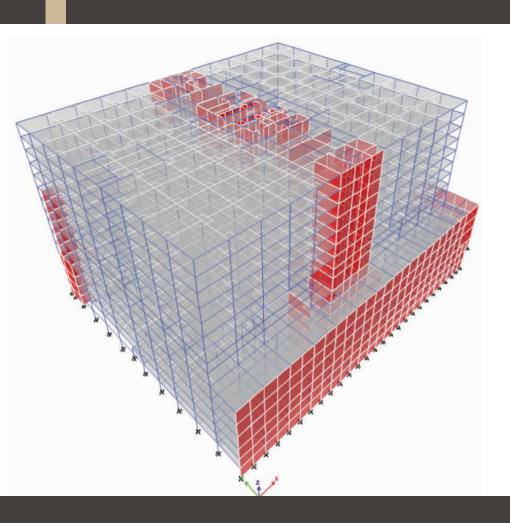


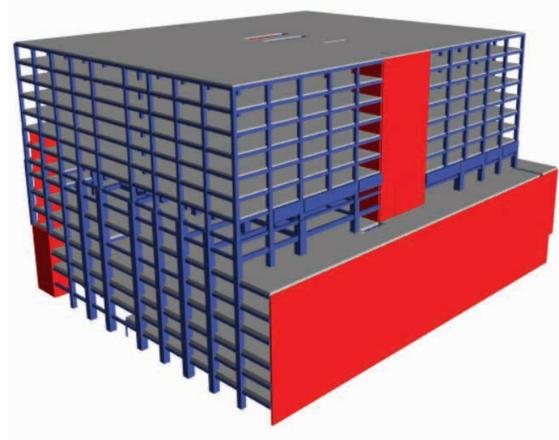
**SITE LOCATION** 

**PLOT BOUNDARY** 

# **ETABS MODEL - OFFICE PART**





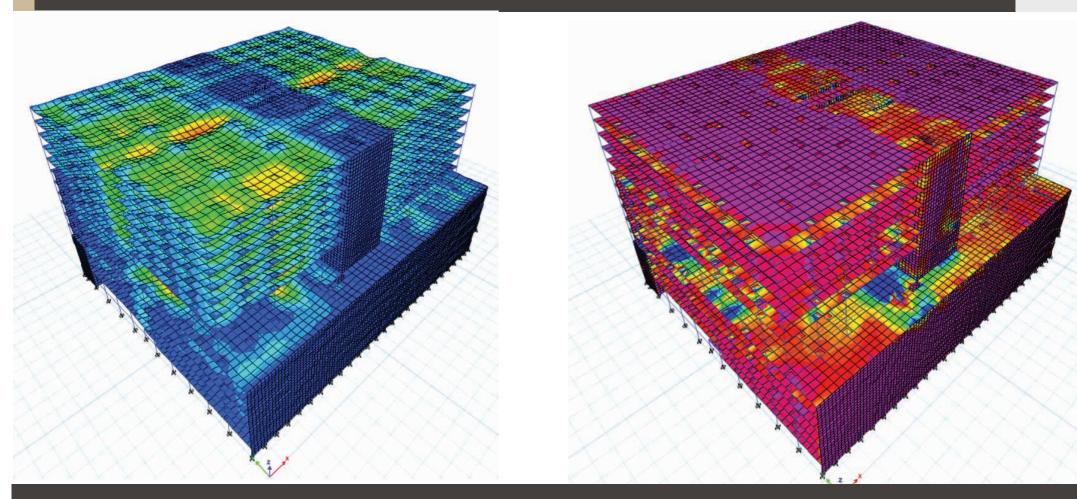


Mathematical Model 3D View

Mathematical Model Rendered View

# **ETABS MODEL - DEFLECTION SHAPE**



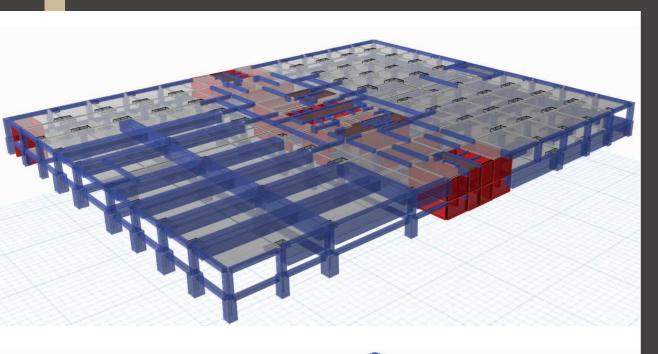


1.5D + 1.5L Deflection Shape 3D View

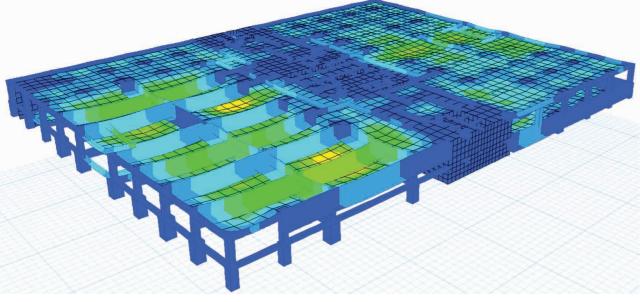
1.5D + 1.5L Maximum Stresses 3D View

# C1 & C2 TRANSFER LEVEL





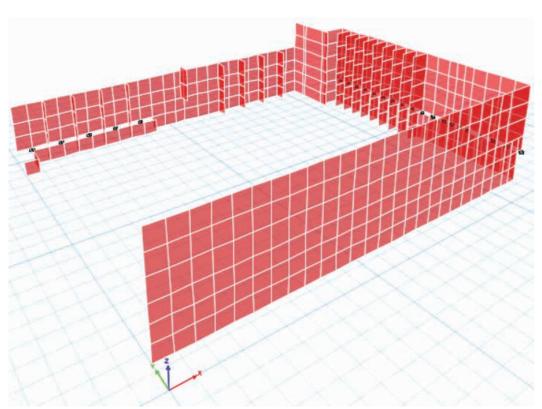
C2 TRANSFER LEVEL

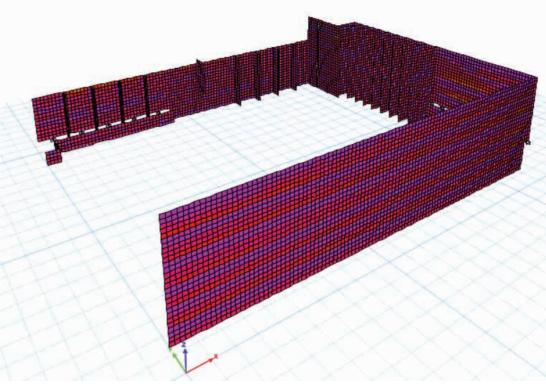


**C2 TRANSFER LEVEL** 

# RETAINING WALLS AT PERIPHERY







wall 1 wall 2

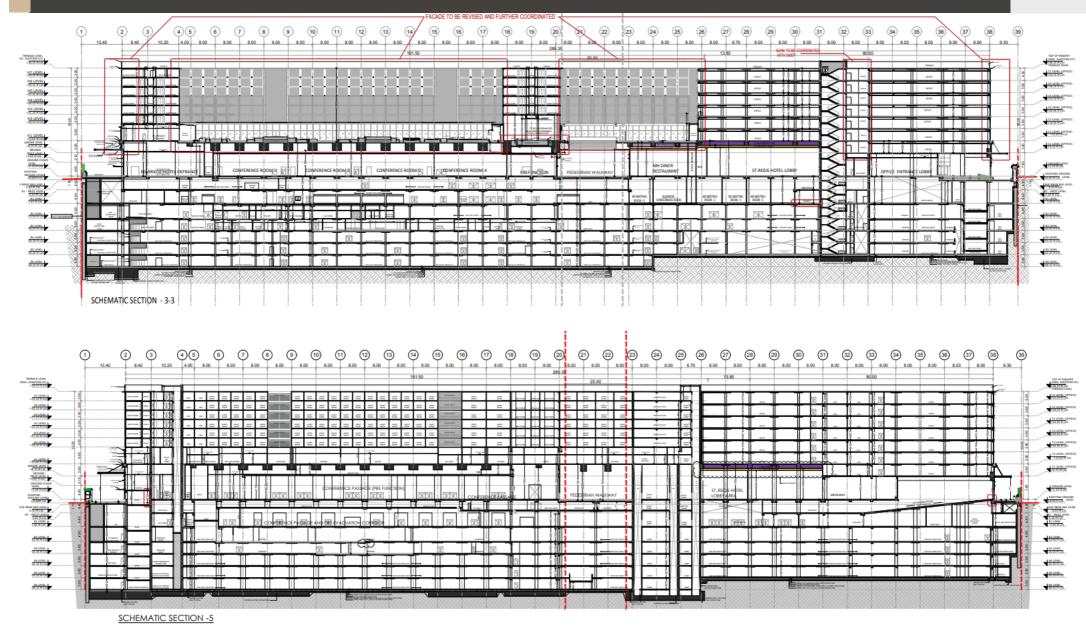
# **SCHEMATIC SECTION**





#### **SCHEMATIC SECTION**





# 3DMEM BORTFO







PROJECT NAME: RAKESH DREAM HOUSE, BENGALURU

PLOT SIZE: 20 X 43 FT (860 SFT). PROJECT COST: RS. 40,00,000 /-

PROJECT DESCRIPTION: G+2 RESIDENTIAL BUILDING

PROJECT NAME: CHRIS ICON, BENGALURU

PLOT SIZE: 60 X 65 FT (3,900 SFT).

PROJECT COST: RS. 9,00,00,000 /-

PROJECT DESCRIPTION: COMMERCIAL+







PROJECT NAME: CHRIS HOSPITAL, BENGALURU

PLOT SIZE: 60 X 65 FT (3,900 SFT).

PROJECT COST: RS. 70,00,00,000 /-

PROJECT DESCRIPTION: COMMERCIAL, HOTEL, HOSPITAL

PROJECT NAME : KONE SEEMA, MUMBAI





PROJECT NAME: BAMUL DAIRY, BENGALURU

PLOT SIZE : 175 X 140 FT (24,500 SFT).

PROJECT COST: RS. 6,50,00,000/-

PROJECT DESCRIPTION: INDUSTRIAL



PROJECT NAME: SHRI SAI SOMASKAND

ASHRAM, NIDAGATTA, KARNATAKA

PLOT SIZE: 3 ACRES

PROJECT COST: 6-7 CRORES

PROJECT DESCRIPTION: DESIGN AND

**CIVIL CONSTRUCTION** 





PROJECT NAME: Shraddha Residence, Pune.

**PLOT SIZE**  $: 75 \times 60$ 

PROJECT COST: Rs.1,27,50,000/-

PROJECT DESCRIPTION: G + 1 Bungalow, Option -2.

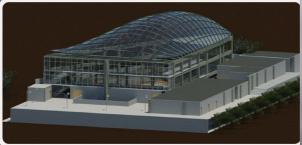


PROJECT NAME: Suresh Residence, Coimbatore.

**PLOT SIZE**  $: 50 \times 60$ 

PROJECT COST: Rs. 95,00,000/-

**PROJECT DESCRIPTION**: G + 1 Bungalow, Sky View.



PROJECT NAME : Treamis World School, Near Electronics City Hulimangala Post Bangalore South Karnataka, PIN-560105 PLOT SIZE : 180 x 270 ft



PLOT SIZE: 75 x 60

PROJECT COST: Rs.1,27,50,000/PROJECT DESCRIPTION: G + 1 Bungalow, Option -1



ROJECT NAME : Suresh Residence , Coimbatore. LOT SIZE : 50 x 60

ROJECT COST: Rs.95,00,000/-ROJECT DESCRIPTION: G + 1 Bungalow, Front Side View.



PROJECT NAME: World Class propoerties, Bangalore.

PLOT SIZE : 70 x 70 PROJECT COST : Rs.1,82,50,000/-PROJECT DESCRIPTION: G + 5.



PROJECT NAME : Randhir Villa, Bangalore. PLOT SIZE : 30 x 45 PROJECT COST : Rs.51,50,000/-PROJECT DESCRIPTION: G + 1.



PROJECT NAME : Jothipura, Tumkur. PLOT SIZE :  $45 \times 30$ PLOT SIZE : 45 x 30 PROJECT COST : Rs.60,50,000/-PROJECT DESCRIPTION: G + 1.

# **SCHEMATIC SECTION**





PROJECT NAME : Residential villa, Bangalore.
PLOT SIZE : 40 x 55
PROJECT COST : Rs.66,00,000/PROJECT DESCRIPTION: G + 1 High End Villa.



PROJECT NAME : Arun Gupta villa, Sarjapur Bangalore.
PLOT SIZE : 40 x 70
PROJECT COST : Rs.84,00,000/PROJECT DESCRIPTION: G + 1 High End Villa, option-1.



PROJECT NAME: RavishrisagarVilla,Bangalore PLOT SIZE: 30 x 40 PROJECT COST: Rs. 52,80,000/-PROJECT DESCRIPTION: G + 3.



PROJECT NAME : Umesh, Electronic City Bangalore.
PLOT SIZE : 50 x 50
PROJECT COST : Rs.95,00,000/-PROJECT DESCRIPTION: G + 1 Bungalow.



PROJECT NAME: Roja Silks, Hosur Road Bangalore PROJECT DESCRIPTION: Concept Design for a mall.



PROJECT NAME: Deepak's Residence Bangalore. PLOT SIZE : 40 × 45 PROJECT COST : Rs 56,00,000/-PROJECT DESCRIPTION: G + 1.



PROJECT NAME : Arun Gupta villa, Sarjapur Bangalore.
PLOT SIZE : 40 x 70
PROJECT COST : Rs.84,00,000/-

PROJECT NAME: Lotus Building.

PROJECT DESCRIPTION: Conceptual Design.

PROJECT DESCRIPTION: G + 1 High End Villa, option-1.



**PROJECT NAME** : Sanjay Srivastav Villa, Jigni Bangalore. **PLOT SIZE** :  $50 \times 50$ 

PROJECT COST: Rs.48,80,000/-

PROJECT DESCRIPTION: G + 1, Traditional Villa.



PROJECT NAME: The Ambience, HSR Layout Bangalore.

 $45 \times 70$ 

PROJECT COST: Rs.1,52,00,000/-PROJECT DESCRIPTION: G + 4.







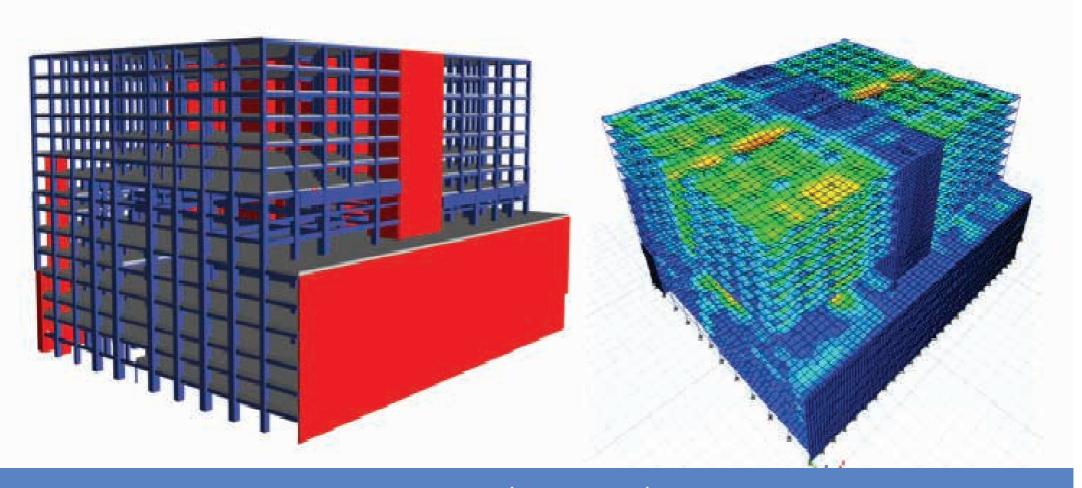
# **BUNJEE JUMPING PROJECT**





**BUNJEE JUMOING PROJECT GOA** 





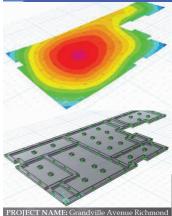
PROJECT NAME: HOTEL MARRIOT BUILDING (OFFICE PART)

PROJECT DESCRIPTION: 6B + G+ 7 BUILDING

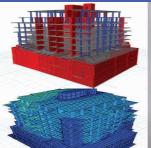
PROJECT SIZE: 300METERS X 100 METERS

PROJECT LOCATION: NEW DELHI

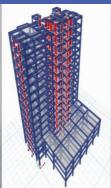




PROJECT DESCRIPTION: G+2 Wooden Frame

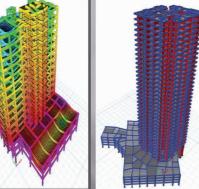


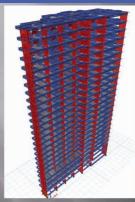
PROJECT NAME: PFC Cambie Building Central 3B + (G+8)



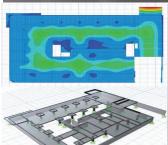
PROJECT NAME: SAMEER SAGAR, Mumbai PROJECT SIZE: FLOOR DESCRIPTION: G + 17

PROJECT DESCRIPTION: PROJECT DESCRIPTION: 160 sintended with the usage for car parking, residential apartments. The whole structure has been designed to withstand





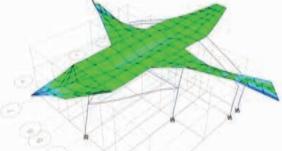
PROJECT NAME: CHITALSAR MANDAPA, Mumbai
FLOOR DESCRIPTION: G+3PODIUM+33STORIED BUILDING
PROJECT DESCRIPTION: The structure comprises of
PROJECT DESCRIPTION: The structure comprises of intended with the usage for car parking, residential s. The whole structure has been designed to withstand apartments. The whole structure has been designed to withstand lateral forces.



PROJECT NAME: Macleod PROJECT DESCRIPTION: B + (G+7)



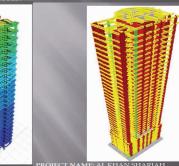
PROJECT NAME: SUBITABLE AND ASSESSED AS TO A SECOND SECTION OF A 24 PROJECT DESCRIPTION: The structure comprises of G+24 floors intended with the usage for car parking, residential streams. The whole structure has been designed to withstandard and the streams.



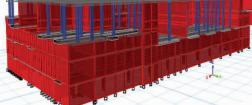
PROJECT NAME: VITI, Mumbai PROJECT DESCRIPTION: Aircraft



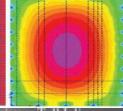
PROJECT NAME: DIMPLE KANNAGO, Mumbai FLOOR DESCRIPTION: G-22STORIED BUILDING, PROJECT DESCRIPTION: The structure comprises of G-23floors intended with the usage for car parking, residentia apartments. The whole structure has been designed to withsta



PROJECT NAME: AL KHAN SHARJAH FLOOR DESCRIPTION: G. GROUND + MEZZANINE + 8 FLOOR PARKING + 31 TYPICAL FLOORS + 1 HEALTH CLUB + SWIMMING POOL & HELIPAD: 146M HIGH.

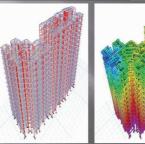


PROJECT NAME: Ortho PROJECT DESCRIPTION: 2B+Mezzanine+(g+5) LOCATION: Canada



PROJECT NAME: Designer Tall Jali PROJECT SIZE:

PROJECT DESCRIPTION: (4.1x9 MTRS) LOCATION: OMAN

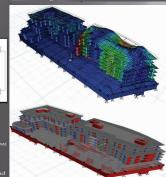


ECT NAME: KAVESAR, Mumbai.

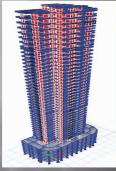
R DESCRIPTION: G+18STORIED BUILDING.

ECT DESCRIPTION: The structure comprises of G+18 intended with the usage for car parking, residential the properties of G+18 intended with the usage for car parking, residential the properties of th

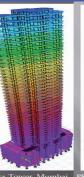


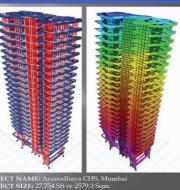


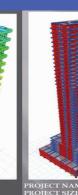






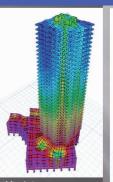


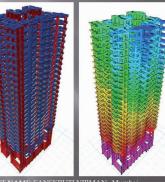










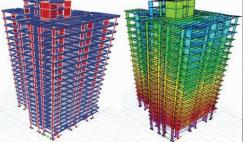


PROJECT NAME:Poddar Parsurampuriya Tower, Mumbai PROJECT SIZE: 2, 89,683 stt or 26,922.2 Sqm.

PROJECT COST: Rs.40, 55, 56,200/PROJECT COST: Rs.3, 33, 40,800/PROJECT DESCRIPTION: The structure comprises of Still + PROJECT DESCRIPTION: The structure comprises of Gt-20 or with provision for stack parking provided for two commercial, car parking and residential apartment's usage. Light weight blocks were used for the entire structure.

PROJECT NAME: MH Compound, Mumbai PROJECT SIZE: 3, 76,380 stt or 34,979 Sqm PROJECT COST: Rs. 25, 69, 31,874/- PROJECT DESCRIPTION: The high structure structure comprises of ZBasements + Still + 5 podiums + 40 Floors + OHT & LMR intended for the usage of commercial usage, of

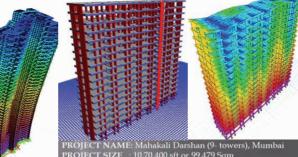
PROJECT NAME: DILESH BITAL, Municial PROJECT NAME: SANSKROTH NIKKARA, Membershoot DESCRIPTION: G + 42 PROJECT DESCRIPTION: The structure comprises of 3B+3p+3 FLOOR DESCRIPTION: G + 22. PROJECT DESCRIPTION: The structure comprises of 3B-4p+3 FLOOR DESCRIPTION: The structure comprises of 3B-4p+3 FLOOR DESCRIPTION: The structure comprises of 2B-4p+7 Elloors intended with the usage for car parking residential apartments. The whole structure has been designed to withstand apartments. The whole structure has been designed to withstand apartments.



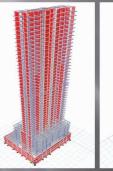
floors with the intended usage of commercial and residential PROJECT DESCRIPTION: The High structure comprise level + 5 podiums + 35 Floors intended with the usage of



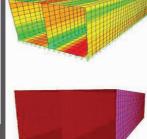
PROJECT SIZE: 56,670 Sft or 5266.72 Sqm
PROJECT COST: Rs.6, 80, 04, 000/PROJECT DESCRIPTION: The structure comprises of G-14 PROJECT COST: Rs.64, 86, 55,000/PROJECT DESCRIPTION: The High structure comprises of G-14 PROJECT DESCRIPTION: The High structure comprise



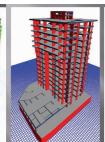
PROJECT SIZE: 10,70,400 sft or 99,479 Sqm
PROJECT COST: Rs.128, 45, 00,000.00
PROJECT DESCRIPTION: The structure comprises of nine towers in total with three towers of G+16 Floors and six towers of G+18 Floors. The whole structure is intended for the



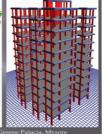
PROJECT NAME: SOUNDLINES, Mumbai FLOOR DESCRIPTION: G + 55. PROJECT DESCRIPTION: The structure comprises of 2B+6p+48 floors intended with the usage for car parking, residential nontments. The whole structure has been designed to withstand.



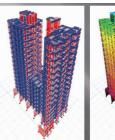


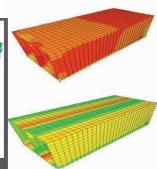








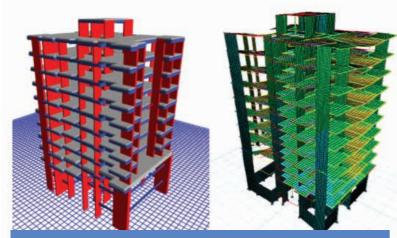




ROJECT NAME: PRAVIN GHADVI, MUMBAI ROJECT DESCRIPTION: RETAINING WALL

### STRUCTURAL PROJECTS



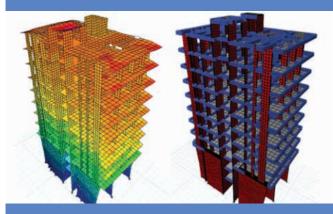


PROJECT NAME: B+G+9 ONKAR Project.

PROJECT LOCATION: Murugesh Palya, Bangalore.

PLOT SIZE: 7630 SFT PROJECT COST:

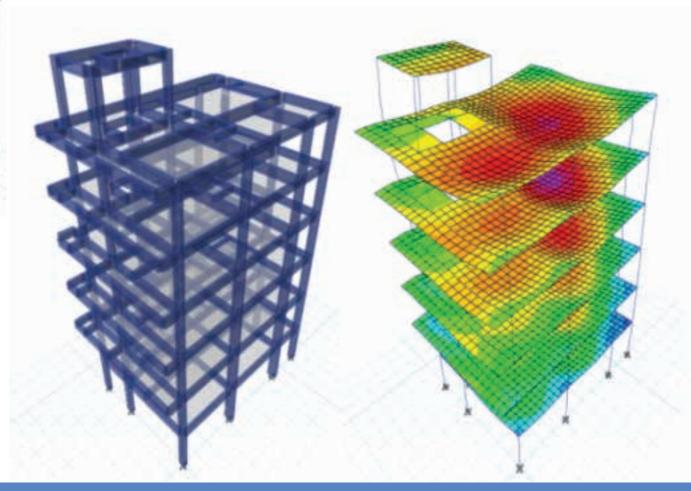
**PROJECT DESCRIPTION:** 



PROJECT NAME: B+G+8 Shilpa Parmar Project. PROJECT LOCATION: Mumbai.

PROJECT SIZE: 3150 PROJECT COST:

PROJECT DESCRIPTION:



**PROJECT NAME: Padma Project.** 

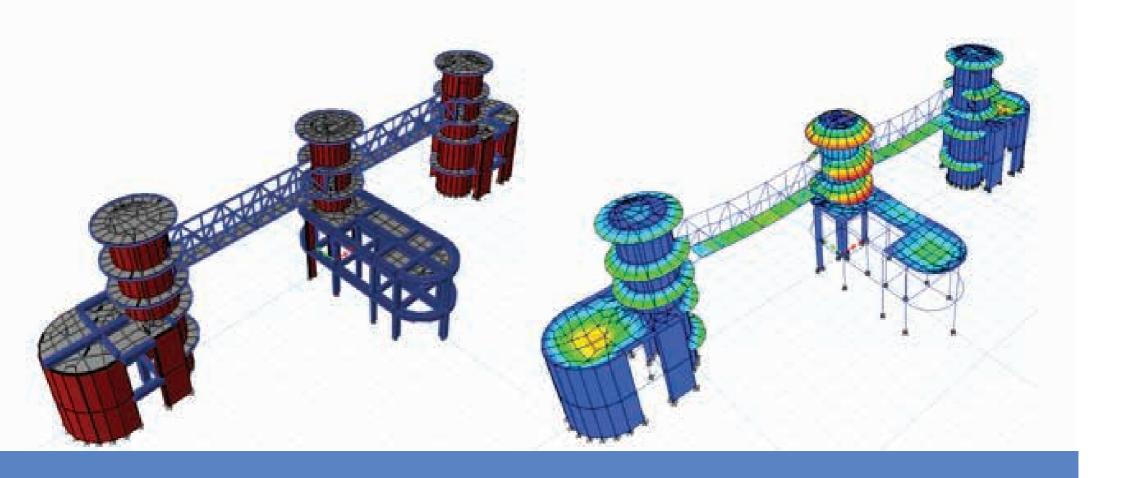
PROJECT LOCATION: Murugesh Palya, Bangalore.

PROJECT SIZE: PROJECT COST:

PROJECT DESCRIPTION:

### STRUCTURAL PROJECTS

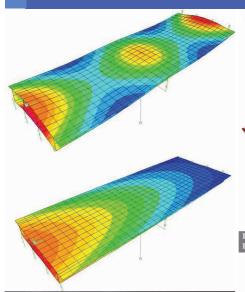




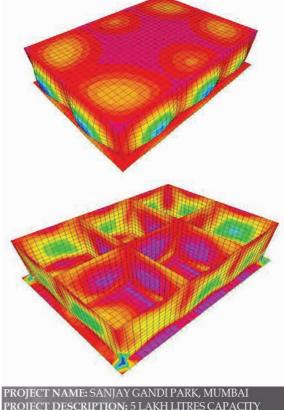
PROJECT NAME: VIT GATE BHOPAL.

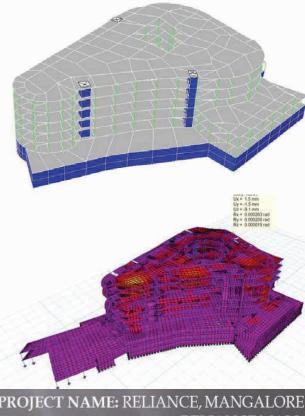
### STRUCTURAL PROJECTS





PROJECT NAME: SURESH, BANGALORE. PROJECT DESCRIPTION: RAIN WATER HARVESTING





PROJECT NAME: TURBHE, MUMBAI PROJECT DESCRIPTION: TURBHE BRIDGE

PROJECT NAME: PARAG KULKARNI, MUMBAI PROJECT DESCRIPTION: VODAFONE DATA CENTRE

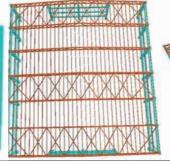
PROJECT DESCRIPTION: 5 LAKH LITRES CAPACITY WATER TANK

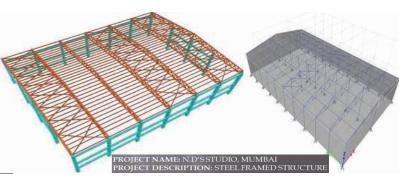
PROJECT NAME: RELIANCE, MANGALORE.
PROJECT DESCRIPTION: RELIANCE MALL.

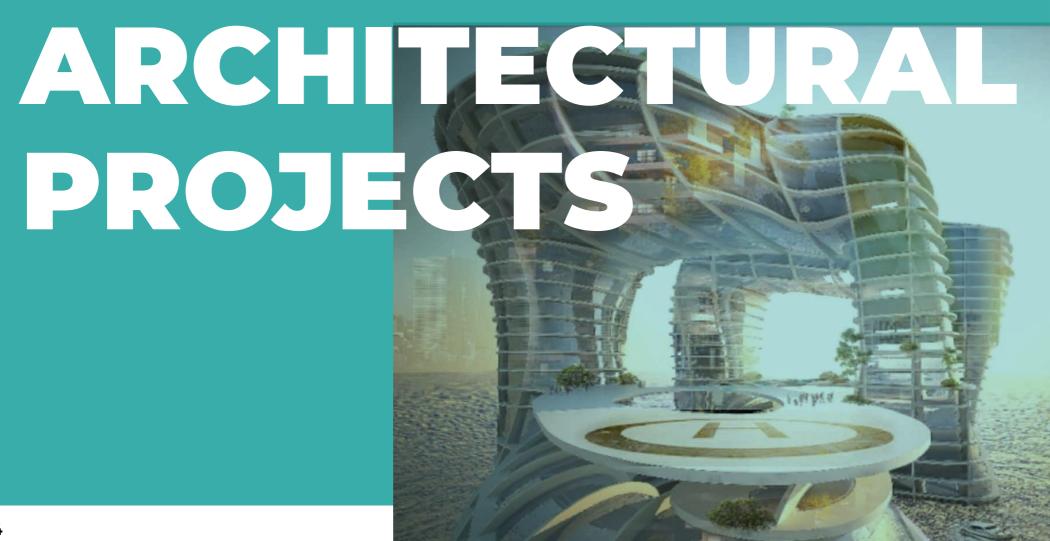












### **ELEVATION VIEW**















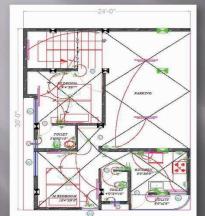


PROJECT NAME : ARAVIND RESIDENCE, BANGALORE. PLOT SIZE : 30 x 40, G+3. FACING TOWARDS: EAST PLAN DETAILS : GROUND & TYPICAL FLOOR ARCHITECTURE PLAN

PROJECT NAME: ARAVIND RESIDENCE, BANGALORE PLOT SIZE : 30 x 40, G+3.
PLAN DETAILS : GROUND & TYPICAL FLOOR ELECTRICAL PLAN

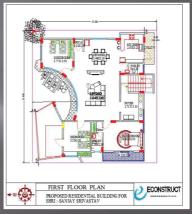
PROJECT NAME: ARAVIND RESIDENCE, BANGALORE, PLOT SIZE : 30 × 40, G+3, PLAN DETAILS : GROUND & TYPICAL FLOOR PLUMBING PLAN

PROJECT NAME : RAVISHRISAGAR RESIDENCE, BANGALORE PLOT SIZE :  $24 \times 30$ , G+3. FACING TOWARDS: SOUTH <u>PLAN DETAILS</u>: GROUND & TYPICAL FLOOR ARCHITECTURE PLAN









TOILET-3

- ROAD -— ROAD -PROPOSED RESIDENCE FOR MR.DEEPAK.PATEL AT COMMON AND ADDRESS AND A PROJECT NAME: DEEPAK PATEL RESIDENCE, BANGALORE.

PROJECT NAME: RAVISHRISAGAR RESIDENCE, BANGALORE.

PLAN DETAILS : GROUND & TYPICAL FLOOR ELECTRICAL PLAN

PLANDETALLS - CPOLIND & FIRST FLOOR ARCHITECTURE PLAN

FACING TOWARDS: SOUTH
PLAN DETAILS: GROUND & TYPICAL FLOOR ARCHITECTURAL
DI AN









TYPICAL FLOOR PLAN

PROJECT NAME: DEEPAK PATEL RESIDENCE, BANGALORE. PLOT SIZE : 60 x 50, G+2.

### **ELEVATION VIEW**





### **BUDGETED HOUSING**











# TURNE PROJECT

### TURN KEY PROJECTS











Project Location:- Lohegaon , Pune Project Description:- The structure has been designed and executed for G+1+Terrace. Project size & scale:- 75'x60' & 1,13,40,000.00







Project Location:- Jigani, Bangalore Project Description:- The structure has been designed and executed for G+1+Terrace floors. Project size & scale:- 50'x50' & 56,00,000



Project Location:- HSR Layout, Bangalore Project Description:- The structure was designed & monitored for G+3+Terrace Floors only. Project size & scale:- 40'x50' & 67,20,000













Project Location:- HSR Layout, Bangalore Project Description:- The structure was designed for G+2+Terrace Floors only & executed for G+Terrace Project size & scale:- 30'x40' & 19,00,000





Project Location:- HSR Layout, Bangalore Project Description:- The structure was designed for G+2+Terrace Floors only & executed for G+Terrace Project size & scale:- 30'x40' & 19,00,000







Project Location:- Sarjapura Road, Bangalore Project Description:- The structure was designed for G+2+Terrace Floors only & executed for G+1+Terrace Project size & scale:- 40'x70' & 84,52,000.







Project Location:- Sarjapura Road, Bangalore Project Description:- The structure was designed for G+2+Terrace Floors only & executed for G+1+Terrace Project size & scale:- 40'x70' & 84,52,000.





Project Location:- Sarjapura Road, Bangalore Project Description:- The structure was designed for G+2+Terrace Floors only & executed for G+1+Terrace Project size & scale:- 40'x70' & 84,52,000.





Project Location:- Kudlu Gate, Bangalore Project Description:- The structure was designed for G+2+Terrace Floors. Project size & scale:- 30'x40' & 60,00,000







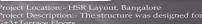


### TURN KEY PROJECTS











roject Location:- HSR Layout, Bangalore roject Description:- The structure was designed for +3+Terrace Floors roject size & scale:- 30'x40' & 75,00,000



roject Location:- HSR Layout, Bangalore roject Description:- The structure was designed for +3+Terrace Floors. roject size & scale:- 30'x40' & 75,00,000





roject Location:- Bogadi Road, Mysore roject Description:- The structure was designed for 8+G+9+Terrace Floors & execution is in progress. roject size & scale:- 63,000sft & 6,50,00,000













Project Location:- HSR Layout, Bangalore Project Description:- The structure was designed & executed for G+3+Terrace Floors only. Project size & scale:- 35'x60' & 1,27,00,000



Project Location:- Surat Project Description:- Piling work for High rise Building in Surat.







Project Description:- Piling work for High rise Building in Surat.







Project Location:- Jaynagar East, Tumkur Project Description:-10,000 Sft Commercial Sales Tax Office



Project Location:- Tumkur Project Description:-Renovation work for court building Tumkur.



Project Location:- Tumkur Project Description:- G+2+Terrace Floors Project size & scale:- 45′x60′ & 1,80,00,000



oject Location:- Tumkur oject Description:- G+2+Terrace Floors

### **COMPOUND WALL PROJECT**









FACTORY COMPOUND WALL PROJECT

### COMPOUND WALL PROJECT













### COMPOUND WALL PROJECT





### RIERIOR DESIGNIC PROJE

### **INTERIOR DESIGNING PROJECTS**

























### MORKSHOP PHOTOS

### **WORKSHOP PHOTOS**





### WORKSHOP PHOTOS





### **WORKSHOP PHOTOS**





## CONSTRUCTION PROJECT

### **CONSTRUCTION PROJECTS**



SI. NO	NAME OF WORKS	UNITS	AREA	DEPARTMENT	PROJECT ESTIMATED COST	
				LOCATION		
1	CONSTRUCTION OF OFFICER'S QUARTERS IN BLOCK-I, VJNL, YETTINAHOLE PROJECT AT HCZ CAMPUS, TUMKUR (INDENT NO:214)	6NOS OF G+2	71111.25 sq. ft	YETTINAHOLE PROJECT AT HCZ CAMPUS, TUMKUR	₹ 6.5 Cr	S R RAVI
2	CONSTRUCTION OF OFFICER'S QUARTERS IN BLOCK-II, VJNL, YETTINAHOLE PROJECT AT HCZ CAMPUS, TUMKUR (INDENT NO:231)	4NOS OF G+2	47407.5 sq. ft	YETTINAHOLE PROJECT AT HCZ CAMPUS, TUMKUR	₹ 4.3 Cr	S R RAVI
3	CONSTRUCTION OF 486 UNITS FO GFS AT HOLENARSIPURA	486	152293.96 sq. ft	SLUM BOARD, HOLENARSIPURA	₹ 26.5 Cr	S R RAVI
4	CONSTRUCTION OF 530 UNITS FO GFS AT CHANARAYAPATNNA	530	194265.4 sq. ft	SLUM BOARD, CHANARAYAPATNNA	₹31 Cr	S R RAVI
5	CONSTRUCTION OF STORAGE UNIT AT HAMUL	G+1	26548.2 sq. ft	HAMUL, HASSAN	₹4.8 Cr	S R RAVI
6	CONSTRUCTION OF ADMINISTRATION BUILDING AT HAMUL	G+2	11851.875 sq. ft	HAMUL, HASSAN	₹3.6 Cr	S R RAVI
7	CONSTRUCTION OF DINING HALL AND STORAGE UNIT AT BAMUL	G+1	68477.5 sq. ft	BAMUL, BANGALORE	₹9.1 Cr	B N MANGEGOWDA
8	PROMCE ROAD SAFTEY WORK AT HOLENARSIPURA.	8 BLOCK SPOTS		HOLENARSIPURA.	₹ 10 Cr	STAR BUILDERS
9	PROMCE ROAD SAFTEY WORK AT HASSAN	3 BLOCK SPOTS		HASSAN.	₹5 Cr	STAR BUILDERS
10	PROMCE ROAD SAFTEY WORK AT CHANRAYAPATNNA.	9BLOCK SPOTS		CHANRAYAPATNNA.	₹13.1 Cr	STAR BUILDERS
				TOTAL	₹ 114 Cr	

### HASSAN DIARY BUILDING











Project Name: Hassan Diary Store

Building, Karnataka

Plot Size: 48.00m x 52.00m

(G+1=4,992 sqm)

Project Cost: Rs. 5.2 Crore /-

Project Description: G+1 Industry
Building

### LAKE DEVELOPMENT PROJECT







Project Name Lake Development Project

@ Channarayapattana

(Minor Education Department)

Karnataka

Plot Size: 38 Acres

Project Cost: Rs. 1.62 Crores

**Project Description: Irrigation Project** 

### STORE & CANTEEN BUILDING @ BAMUL BANGALORE





**Project Name:** Store & Canteen Building

@ BAMUL Bangalore

Karnatakaa

Plot Size: 55.00m x 53.50m

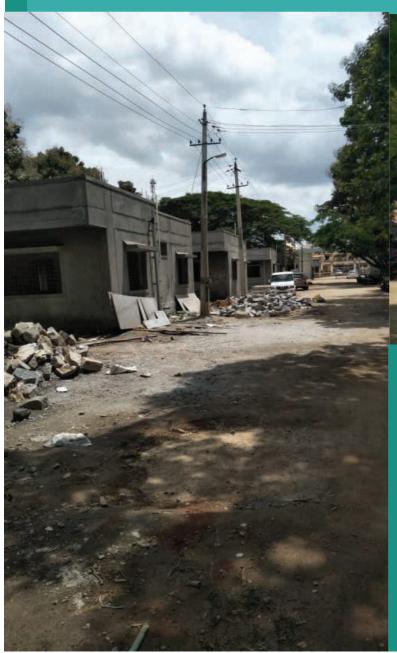
(G+1=5,885 sqm)

Project Cost: Rs. 9.8 Crores /-

**Project Description: G+1 Industry Building** 

### CONSTRUCTION OF OFFICER'S QUARTERS







**Project Name: Construction of Officer's** 

quarters @ V.J.N.L Campus,

Tumkur

Plot Size: 42 units Area

43,870 sq. ft

Project Cost: Rs. 12.35 Crores /-

Project Description: G+2 =7 blocks, G = 3 units

### TUMKUR OFFICERS QUARTERS BLOCK 2 @ V.J.N.L CAMPUS







Project Name: Tumkur officers quarters block 2

@ V.J.N.L campus, Tumkur

Plot Size: 42 units Area

43,870 sq. ft

Project Cost: Rs. 8.2 Crores /-

Project Description: G+2 =7 blocks, G = 3 units

### TUMKUR OFFICERS QUARTERS BLOCK 2 @ V.J.N.L CAMPUS















Project name: Tumkur officers quarters block 2 @ V.J.N.L campus, Tumkur

### CHECK DAM CONSTRUCTION @ CHANNARAYAPATTANA





Project Name: Check dam construction

@ Channarayapattana

**Tumkur** 

Plot Size: 42units

(Area 43,870 sq ft)

Project Cost: Rs. 8.2 Crore/-

Project Description: G+2 = 7 blocks G = 3 units

### TUMKUR OFFICERS QUARTERS BLOCK 2 @ V.J.N.L CAMPUS





Project Name: Mrs. Padma Project, Murugesh Pallya, Bangalore

Plot Size: 1100 sq. feet
Project Cost: Rs. 1 Crore/Project Description: G+4

10

## LAND DEVELOPMENT PROJECTS FOR SOLAR RENEWABLE ENERGY

### **AURAD- BIDAR DISTRICT, KARANATAKA**



### AURAD - Bidar District, Karnataka

Land Extent - 1500 acres

Land is on Agreement

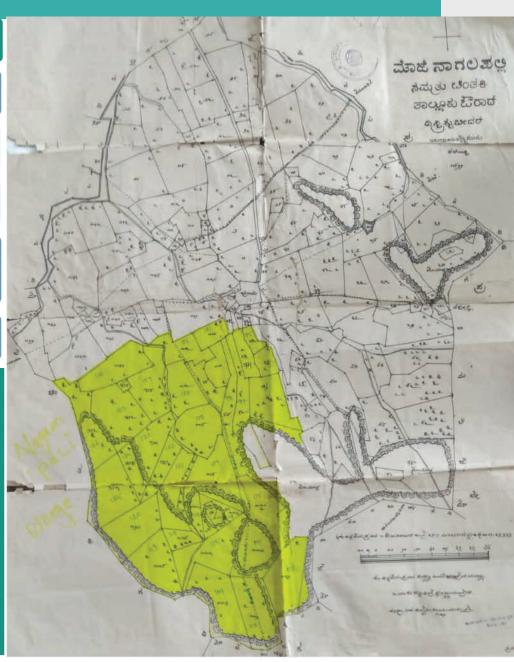
Distance to Grid 18 kms

Grid capacity 132 kV- We can get the Grid upgraded with all our influence within no time

Load Availability 50 MW

### **Highlights of AURAD - Bidar District**

- Land available upto 4000 Acres
- 1000 acres is on Agreement
- Three Grids of 110 kV available three sides of the land
- In about 20 kms distance, another grid of 110 kV with 50 MW available
- We can get upgrade the Grid to 220 kV with all our influence



### AURAD - BIDAR DISTRICT, KARNATAKA





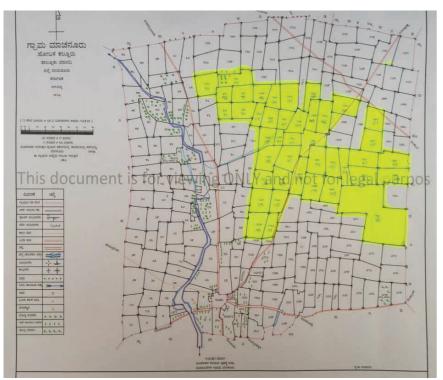
**AURAD - BIDAR DISTRICT, KARNATAKA** 

### **RAICHUR - KARNATAKA**













RAICHUR - KARNATAKA Land extent - 1200 acres Grid capacity – 765 / 400 kV Distance to grid 12 kms

### LAND PARCELS OF RAICHUR









### LAND PARCELS OF RAICHUR

### GULBARGA - KARNATAKA



### Gulbarga – Karnataka

Land Extent - 1500 to 1800 acres

Distance to Grid 20 kms

Grid capacity 110 kV - We can get the Grid upgraded to 220 kV with all our influence within no time

Grid Location is in Narayan Khed Andhra Pradesh







### **Highlights of Chincholi Village Land parcel**

- 4500 acres
   (500 Acres single family & Agreement 4000 Acres)
- Another 2000 Acres is available (within 5 kms)
   (1500 acres each land parcel available under
   Shahadabad, Sedam at 2km distance to 220 kV grid)
- 70 Owners







### **ADILABAD - TELANGANA**



### Adilabad - Telangana

Land extent 814 Acres

Single Survey no

Another 400 acres available (10 owners)

Grid capacity 220 kV (Newly upgraded)

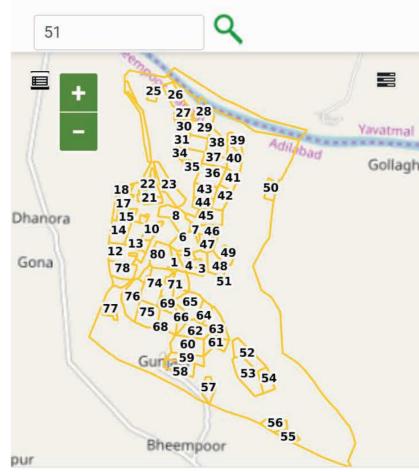
Distance to grid - 20 Kms

Single Survey no

Single family

Grid connectivity 220kV IN MAHARASTRA





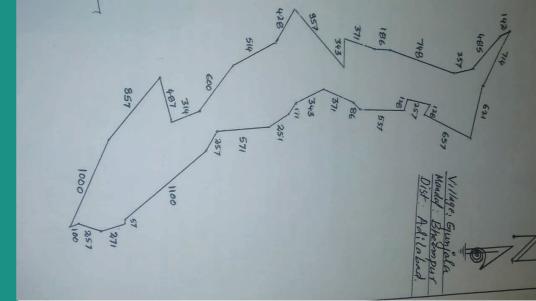
#### GUNJALA, ADILABAD LAND





#### Gunjala, Adilabad land

- The terrain is slightly up and down, slightly red sandy hill area but not Rocky.
- There is possibility for both wind and solar
- A river of width 0.25 km is adjacent to the land which bisects Telangana and Maharastra boarder
- A newly built 220kV Grid is available at an Aerial distance of 20 kV



#### HATHIGHAT, ADILABAD LAND









#### Hathighat, Adilabad land

- The terrain is slightly up and down, slightly red sandy hill area but not Rocky.
- There is possibility for both wind and solar
- A river of width 0.25 km is adjacent to the land which bisects
   Telangana and Maharastra boarder
- A newly built 220kV Grid is available at an Aerial distance of 20 kV. 400 KV Line is available connecting to central power grid

#### Highlights of Hathighat village land parcel

- Extent 2000 Acres
- Owners 10.
- Land is on Agreement



We have well experienced team including retired eminent officials from revenue, electrical, civil and mechanical who have done 400 MW for Adani Green, Acme and MYTRA ENERGY, to execute in a smooth way as per schedule.

We execute land purchase, liaison with Revenue authorities for registrations, conversion, mutations, ROW issues and 109 G.O.

We have good rapo with Revenue, and other local body authorities from Ground level to state level

We are committed to provide end to end services hassle free

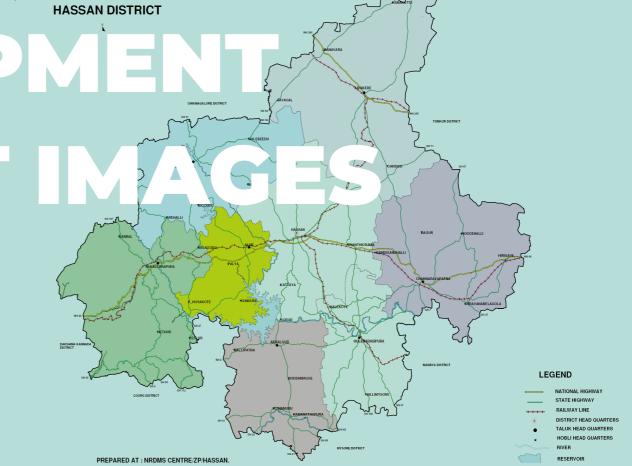
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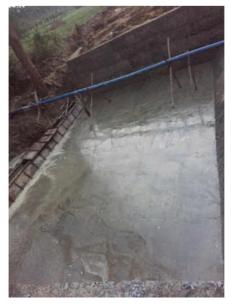








































































































**12** 

# MANUFACTURING & MIXING UNITS



#### MANUFACTURING & MIXING UNITS















Venkatdhari Heights, 2nd Floor Parapanna Agrahara Main Road,
Opposite Sai Poorna Premier Apartment,
Bangalore - 560068

# DESIGN BUILD DELIVER